

**NOTICE OF PROPOSED DEVELOPMENT BY A LOCAL AUTHORITY
PLANNING AND DEVELOPMENT ACT, 2000 (AS AMENDED)
PLANNING AND DEVELOPMENT REGULATIONS, 2001 (AS AMENDED)**

Restoration of Marlay Craft Courtyard, Marlay Park, Rathfarnham

PC/01/13

In accordance with Part 8, Article 81 of the Planning and Development Regulations 2001-2012, Dún Laoghaire-Rathdown County Council hereby gives notice of proposals pertaining to development as follows:

Restore the existing Craft Courtyard building which is a protected structure in order to modernise the craft units, regularise the circulation layout internally, provide replacement public toilets for park users and staff toilets for the courtyard tenants and market vendors.

In accordance with S.I. 476, 2011, Section 250, Planning and Development (Amendment) (No. 3) Regulations, 2011 Dún Laoghaire-Rathdown County Council has determined that an Appropriate Assessment is not required.

Plans and particulars of the proposals are available for inspection from Friday 18th January, 2013 up to and including Friday 1st March, 2013 (inclusive), at the Planning Department, County Hall, Marine Road, Dún Laoghaire between the hours of 10.00 a.m. to 4.00 p.m. and at the Council Offices, Dundrum Office Park, Dundrum between the hours 9.30 a.m. to 12.30 p.m. and 1.30 p.m. to 4.30 p.m. Monday to Friday, excluding Bank Holidays. A copy of the proposed Part VIII may also be viewed on the County Council's website at www.dlrcoco.ie.

Submissions or observations with respect to the proposals, and dealing with the proper planning and sustainable development of the area, may be made in writing before 5.00p.m. Friday 15th March, 2013.

**Declan McCulloch, Senior Executive Officer,
Planning Department,
Dún Laoghaire-Rathdown County Council,
County Hall,
Marine Road,
Dún Laoghaire,
Co Dublin.**

Or by email to: planning@dlrcoco.ie

Dated: 18th January, 2013.

Restoration Marlay Craft Courtyard, Marlay Park:

Habitats Directive Screening Report

Prepared by DLRCC, October 2012

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1 Introduction

1.1 Aims and objectives

Dun Laoghaire Rathdown County Council are proposing to restore the craft courtyard in Marlay Park and incorporate public and staff toilets into the existing building. Article 6(3) and 6(4) of the Habitats Directive 92/43/EEC requires an Appropriate Assessment of any plan or project where the plan or project may give rise to significant effects upon a Natura 2000 site¹. Any plan proposed under the Planning and Development Act 2000 – 2010 must be screened for any potential impact on areas designated as Natura 2000 sites normally called Special Areas of Conservation (SACs) or Special Protection Area (SPAs)².

The purpose of this screening report is to identify, based on best scientific knowledge, the likely impacts upon a Natura 2000 site (including Natura 2000 sites not situated in the area encompassed by the draft plan or scheme) of the proposed plan either alone or in combination with other projects or plans and consider whether these impacts are likely to be significant. To achieve this, the screening report takes into consideration the potential for proposed plan to result in:

- 1) Adverse impacts on qualifying interest features (i.e. habitats and species for which the sites have been designated) of the Natura 2000 sites; and
- 2) Adverse impacts on the integrity of the Natura 2000 sites.

1.2 Legal requirements for Habitat Directive

The E.U. Habitats Directive 1992 sets out legal requirements for the establishment and management of a network of ecological sites of international conservation importance across Europe known as the Natura 2000 Network. Two types of sites are included in the Natura 2000 Network. These are **Special Protection Areas (SPAs)**, which are designated for their bird interest under the E.U. Birds Directive, and **Special Areas of Conservation (SACs)**, which are designated for other important flora and fauna under the E.U. Habitats Directive. These sites are given strict protection under E.U. legislation.

According to the E.U. Habitats Directive any plan or project that is not directly connected with or necessary to the management of the Natura 2000 site, but which is likely to have significant effect on it, on its own, or in combination with other plans or projects, is to be authorised only if it will not significantly adversely affect the integrity of the site. The method for deciding whether there will, or will not be an effect, is called **Appropriate Assessment (also known as Habitats Directive Assessment)**.

The E.U. Commission produced a guidance document on carrying out Appropriate Assessment in 2001 (E.U. Commission 2001). This document divides the Appropriate Assessment into four stages.

- 1) **Stage 1: Screening** (the process which identifies the likely impacts of a project or plan, on its own or in combination with other projects or plans, upon a Natura 2000 Site).

¹ Council Directive 92/43/EEC on the Conservation of Natural Habitats and of Wild Fauna and Flora.

² Department of Environment, Heritage and Local Government 'Circular Letter SEA 1/08 and NPWS 1/08' 15/2/2008.

- 2) **Stage 2: Appropriate Assessment** (the consideration of the impacts on the Natura 2000 site and a review of the effectiveness of possible mitigation measures).
- 3) **Stage 3: Alternative Solutions** (a process which examines alternative options for a project or plan which will avoid any adverse impacts on the Natura 2000 site).
- 4) **Stage 4: Assessment where adverse impacts remains** (an assessment of compensatory measure which can be undertaken if adverse impacts remain and the project or plan is permitted to proceed for Reason of Overriding Public Interest).

In November 2009, the DoEHLG issued **Guidance for Planning Authorities on Appropriate Assessment of plans and projects in Ireland (DoEHLG 2009)**. The DoEHLG guidance document recommends that all plans and projects should undergo Screening (Stage 1) and, if necessary, a full Appropriate Assessment (Stage 2) to ensure that adverse impact on Natura 2000 sites are avoided.

2 Project Description

Dún Laoghaire Rathdown County Council proposes to restore the Craft Courtyard in Marlay Park and incorporate public and staff toilets into the existing building. The units of the existing courtyard are to be restored, one unit was in residential use in the past and will be changed to commercial, and there will be an overall increase in number of units.

The existing number of units is 17 (many of these are made up of several actual craft units but currently only 9 tenants operate from the premises), the revised scheme will potentially support 24 actual units just through the division of space within the existing building. It is proposed to develop public and staff toilet facilities within the building. The existing ESB room will be retained and the spray room relocated.

There will be a requirement to create soak-aways for the courtyard buildings for the rainfall off the roofs and also to connect to the adjacent water main and foul sewer for sinks which are intended to put into each unit and for the toilets.

3 Methodology

The guidance issued by the Department of the Environment, Heritage and Local Government recommends that all Natura 2000 site within 15km of a proposed plan should be screened. The guidance notes state that for some projects a smaller radius may be more appropriate depending on the nature of the project.

Due to the small-scale nature of this project, it was considered that 5km radius would adequately identify potential impact zones (unless hydrological linkages were present). Natura 2000 sites within 5km of the proposed development, or with hydrological links to the proposed development site, were identified.

Potential impact sources (i.e. potential effects which could impact on Natura 2000 sites) associated with proposed refurbishment were identified, as were potential

impact pathways (linkages) and potential receptors (qualifying interest features of Natura 2000 site). Potential impact pathways include:

- 1) Physical linkages between the site of the proposed works and Natura 2000 sites
- 2) Hydrological linkages between the site of the proposed works and Natura 2000 sites
- 3) Movement of species between the site of the proposed and Natura 2000 sites

The qualifying interest features and conservation objectives of these sites were reviewed in order to identify potential impacts of the refurbishment of the craft courtyard on these sites.

4 Summary of Natura 2000 Sites Identified

There are no Natura 2000 sites within, or adjoining, the site of the proposed works. There is one Natura 2000 site within 5km of the proposed works. Three other Natura 2000 sites are further than 5km but have hydrological links as the foul water from the area is discharged into the sea near these sites following treatment in Ringsend sewage treatment works. These sites, their distance from the proposed car park, their qualifying interest features and conservation objectives are summarised in Table 1 below.

Table 1: Summary information for Natura 2000 sites

Site	Distance from car park	Interest Features	Conservation Objectives
South Dublin Bay SAC Site code: 000210	6.2km	<p>Main Interest Features</p> <ul style="list-style-type: none"> • Mudflats and sandflats not covered by seawater at low tide. <p>Other Features</p> <ul style="list-style-type: none"> • Eel grass • Embryonic dunes • Waterfowl • Waders • Terns • Gulls 	<p>Objective 1: To maintain the Annex I habitat for which the cSAC has been selected at favourable conservation status: Mudflats and sandflats not covered by seawater at low tide.</p> <p>Objective 2: To maintain the extent, species richness and biodiversity of the entire site.</p> <p>Objective 3: To establish effective liaison and co-operation with landowners, legal users and relevant authorities.</p>
South Dublin Bay and River Tolka Estuary SPA Site code: 004024	6.2km	<p><u>Main Interest Features</u></p> <ul style="list-style-type: none"> • Light-bellied Brent Goose • Knot • Sanderling • Bar-tailed Godwit • Redshank • Roseate Tern • Common Tern • Arctic Tern <p><u>Additional Special Conservation Interests</u></p> <ul style="list-style-type: none"> • Oystercatcher • Ringed Plover • Golden Plover • Grey Plover 	<p>To maintain the special conservation interests for this SPA at favourable conservation status: Light-bellied Brent Goose, Knot, Sanderling, Bar-tailed Godwit, Redshank, Roseate Tern, Common Tern, Arctic Tern, Oystercatcher, Ringed Plover, Golden Plover, Grey Plover, Dunlin, Black-headed Gull, Wetland & Waterbirds.</p>

			<ul style="list-style-type: none"> • Dunlin • Black-headed Gull • Wetland & Waterbirds 	
<p>Dalkey Islands pSPA</p> <p>Site code: 004172</p>	15km		<p><u>Main Interest Features</u></p> <ul style="list-style-type: none"> • Roseate Tern • Common Tern • Arctic Tern 	To maintain the special conservation interests for this SPA at favourable conservation status: Roseate Tern, Common Tern, Arctic Tern
<p>Wicklow Mountains SAC</p> <p>Site code: 002122</p>	3.8km		<p><u>Main Interest Features</u></p> <ul style="list-style-type: none"> • Oligotrophic to mesotrophic standing waters with vegetation of the Littorelletea uniflorae and/or of the Isoëto Nanojuncetea; • Natural dystrophic lakes and ponds; Northern Atlantic wet heaths with <i>Erica tetralix</i>; • European dry heaths; • Alpine and Boreal heaths; • Species-rich <i>Nardus</i> grasslands, on siliceous substrates in mountain areas (and submountain areas, in Continental Europe); • Blanket bog; • Siliceous scree of the montane to snow levels (<i>Androsacetalia alpinae</i> and <i>Galeopsietalia ladani</i>); • Calcareous rocky slopes with 	<p>Objective 1: To maintain the Annex I habitats for which the cSAC has been selected at favourable conservation status: Oligotrophic to mesotrophic standing waters with vegetation of the Littorelletea uniflorae and/or of the Isoëto-Nanojuncetea; Natural dystrophic lakes and ponds; Northern Atlantic wet heaths with <i>Erica tetralix</i>; European dry heaths; Alpine and Boreal heaths; Species-rich <i>Nardus</i> grasslands, on siliceous substrates in mountain areas (and submountain areas, in Continental Europe); Blanket bog; Siliceous scree of the montane to snow levels (<i>Androsacetalia alpinae</i> and <i>Galeopsietalia ladani</i>); Calcareous rocky slopes with chasmophytic vegetation; Siliceous rocky slopes with chasmophytic vegetation; Old sessile oak woods with <i>Ilex</i> and <i>Blechnum</i> in British Isles.</p> <p>Objective 2: To maintain the Annex II species for which the cSAC has been selected at favourable conservation status: <i>Lutra lutra</i>.</p> <p>Objective 3: To maintain the extent, species richness and biodiversity of the entire site.</p> <p>Objective 4: To establish effective liaison and co-operation with landowners, legal users and relevant authorities.</p>

			<ul style="list-style-type: none"> chasmophytic vegetation; Siliceous rocky slopes with chasmophytic vegetation; Old sessile oak woods with <i>Ilex</i> and <i>Blechnum</i> In British Isles. Otter 	
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5 Screening Assessment

The screening assessment follows the proposed methodology outlined in the 'Assessment of Plans and Projects Significantly Affecting Natura 2000 Sites - Methodological Guidance on the Provisions of Article 6(3) and (4) of the Habitats Directive 92/43/EC'. A separate screening matrix has been completed for each Natura 2000 site which has hydrological links or is within a 5km radius of the boundary to the craft courtyard. Each matrix considers potential impacts of the proposed works on the integrity of the site and the qualifying interest features (i.e. the species and habitats for which the site has been designated).

According to the EU Habitats Directive, favourable conservation status of a habitat is achieved when:

- its natural range, and area it covers within that range, is stable or increasing, and
- the ecological factors that are necessary for its long-term maintenance exist and are likely to continue to exist for the foreseeable future, and
- the conservation status of its typical species is favourable as defined below.

The favourable conservation status of a species is achieved when:

- population data on the species concerned indicate that it is maintaining itself, and
- the natural range of the species is neither being reduced or likely to be reduced for the foreseeable future, and
- there is, and will probably continue to be, a sufficiently large habitat to maintain its populations on a long-term basis.

Matrix 1: South Dublin Bay SAC (site code 000210)

Brief description of the project or plan	See section 2
Brief description of the Natura 2000 site	<p>The site extends from South Wall to the west pier at Dun Laoghaire. It is an intertidal site with extensive areas of sand and mudflats, a habitat listed on Annex I of the E.U. Habitats Directive. There is a bed of Eelgrass (<i>Zostera noltii</i>) below Merrion Gates which is the largest stand on the east coast. Green algae (<i>Enteromorpha</i> spp. and <i>Ulva lactuca</i>) are distributed throughout the area at a low density. Fucoid algae occur on the rocky shore in the Maretimo to Dún Laoghaire area. The macro-invertebrate-fauna-is-well-developed, and is characterised by annelids such as Lugworm (<i>Arenicola marina</i>), <i>Nephtys</i> spp. and Sand Mason (<i>Lanice conchilega</i>), and bivalves, especially Cockle (<i>Cerastoderma edule</i>) and Baltic Tellin (<i>Macoma balthica</i>).</p> <p>South Dublin Bay is also an important site for waterfowl, gulls and terns.</p>

Assessment Criteria	
<p>Describe the individual elements of the project (either alone or in combination with other plans or projects) likely to give rise to impacts on the Natura 2000 site.</p>	<p>The craft courtyard is located approximately 6.2km from the SAC. There are unlikely to be any direct impacts on the Natura 2000 site or any reduction in area or deterioration in condition of the sand and mudflats for which the site is designated.</p> <p>Similarly, there are unlikely to be any impacts on the population size, range or habitat for waders and wildfowl as the current habitat within the proposed craft courtyard comprises hard surfaces and is not of importance to these species.</p>
<p>Describe any likely direct, indirect or secondary impacts of the project (either alone or in combination with other plans or projects) on the Natura 2000 site by virtue of:</p> <ul style="list-style-type: none"> • Size and scale; • Land-take; • Distance from Natura 2000 site or key features of the site; • Resource requirements (water abstraction etc); • Emission (disposal to land, water or air); • Excavation requirements; • Transportation requirements; • Duration of construction, operation, decommissioning etc; • Other. 	<p>The restoration will result in additional toilet provision at this location and the provision of additional sinks in the craft units. However, as it is intended to ultimately close the toilet block adjacent to Grange Rd carpark, it is not anticipated that there will be any significant increase in the quantity of sewage to be treated at the treatment plant in Ringsend, and hence there will be not be any significant impact on the water quality within the SAC.</p>
<p>Describe any likely changes to the site arising as a result of :</p> <ul style="list-style-type: none"> • reduction of habitat area; • disturbance to key species; • habitat or species fragmentation; • reduction in species density; • changes in key indicators of conservation-value 	<p>Given the distance of the proposed development from the site and the fact foul water is being discharged to the foul sewer, no impacts are anticipated.</p>
(water quality etc)	
<p>Describe any likely impacts on the Natura 2000 site as a whole in terms of:</p> <ul style="list-style-type: none"> • interference with the key relationships that define the structure of the site; • interference with key relationships that define the function of the site. 	<p>Given the distance of the proposed development from the site and the fact foul water is being discharged to the foul sewer, no impacts are anticipated.</p>

Provide indicators of significance as a result of the identification of effects set out above in terms of: <ul style="list-style-type: none"> • loss • fragmentation • disruption • disturbance; • change to key elements of the site (eg water quality etc) 	No potential adverse impacts have been identified.
Describe from the above those elements of the project or plan, or combination of elements, where the above impacts are likely to be significant or where the scale or magnitude of impacts are not known.	As no adverse impacts have been identified, it is not anticipated that there will be any in-combination effects from other projects or plans.

Matrix 2: South Dublin Bay and River Tolka Estuary SPA (site code: 004024)

Brief description of the project or plan	See section 2
Brief description of the Natura 2000 site	<p>The site includes the intertidal area between the River Liffey and Dun Laoghaire, and the estuary of the River Tolka to the north of the River Liffey, as well as Booterstown Marsh. A portion of the shallow marine waters of the bay is also included.</p> <p>There is a bed of Dwarf Eelgrass (<i>Zostera noltii</i>) below Merrion Gates which is the largest stand on the east coast. Green algae (<i>Enteromorpha</i> spp. and <i>Ulva lactuca</i>) are distributed throughout the area at a low density.</p> <p>The site is a Special Protection Area (SPA) under the E.U. Birds Directive, of special conservation interest for the following species: Light-bellied Brent Goose, Oystercatcher, Ringed Plover, Golden Plover, Grey Plover, Knot, Sanderling, Dunlin, Bar-tailed Godwit, Redshank, Black-headed Gull, Roseate Tern, Common Tern and Arctic Tern.</p>
Assessment Criteria	
Describe the individual elements of the project (either alone or in combination with other plans or projects) likely to give rise to impacts on the Natura 2000 site.	The craft courtyard is located approximately 6.2km from the SPA. There are unlikely to be any direct impacts on the Natura 2000 site.

	<p>Similarly, there are unlikely to be any impacts on the population size, range or habitat for waders and wildfowl as the current habitat within the proposed craft courtyard comprises hard surfaces and is not of importance to these species.</p>
<p>Describe any likely direct, indirect or secondary impacts of the project (either alone or in combination with other plans or projects) on the Natura 2000 site by virtue of:</p> <ul style="list-style-type: none"> • Size and scale; • Land-take; • Distance from Natura 2000 site or key features of the site; • Resource requirements (water abstraction etc); • Emission (disposal to land, water or air); • Excavation requirements; • Transportation requirements; • Duration of construction, operation, decommissioning etc; • Other. 	<p>The restoration will result in additional toilet provision at this location and the provision of additional sinks in the craft units. However, as it is intended to ultimately close the toilet block adjacent to Grange Rd carpark, it is not anticipated that there will be any significant increase in the quantity of sewage to be treated at the treatment plant in Ringsend, and hence there will be not be any significant impact on the water quality within the SPA.</p>
<p>Describe any likely changes to the site arising as a result of :</p> <ul style="list-style-type: none"> • reduction of habitat area; • disturbance to key species; • habitat or species fragmentation; • reduction in species density; • changes in key indicators of conservation value (water quality etc) 	<p>Given the distance of the proposed development from the site and the fact foul water is being discharged to the foul sewer, no impacts are anticipated.</p>
<p>Describe any likely impacts on the Natura 2000 site as a whole in terms of:</p> <ul style="list-style-type: none"> • interference with the key relationships that define the structure of the site; • interference with key relationships that define the function of the site. 	<p>Given the distance of the proposed development from the site and the fact foul water is being discharged to the foul sewer, no impacts are anticipated.</p>
<p>Provide indicators of significance as a result of the identification of effects set out above in terms of:</p> <ul style="list-style-type: none"> • loss • fragmentation • disruption • disturbance; • change to key elements of the site (eg water quality- etc) 	<p>No potential adverse impacts have been identified.</p>

Describe from the above those elements of the project or plan, or combination of elements, where the above impacts are likely to be significant or where the scale or magnitude of impacts are not known.	As no adverse impacts have been identified, it is not anticipated that there will be any in-combination effects from other projects or plans.
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Matrix 3: Dalkey Islands pSPA (site code: 004172)

Brief description of the project or plan	See section 2
Brief description of the Natura 2000 site	<p>Dalkey Islands lie 400m off Sorrento Point and includes Dalkey Island, Lamb Island and Maiden Rock.</p> <p>The site is a proposed SPA for the following species: Roseate Tern, Common Tern and Arctic Tern.</p>
Assessment Criteria	
Describe the individual elements of the project (either alone or in combination with other plans or projects) likely to give rise to impacts on the Natura 2000 site.	<p>The craft courtyard is located approximately 15km from the SPA. There are unlikely to be any direct impacts on the Natura 2000 site or any reduction in area or deterioration in condition of the site.</p> <p>Similarly, there are unlikely to be any impacts on the population size, range or habitat of tern species for which the site has been designated as the proposed craft courtyard comprises hard surfaces and is not of importance to these species.</p>
<p>Describe any likely direct, indirect or secondary impacts of the project (either alone or in combination with other plans or projects) on the Natura 2000 site by virtue of:</p> <ul style="list-style-type: none"> • Size and scale; • Land-take; • Distance from Natura 2000 site or key features of the site; • Resource requirements (water abstraction etc); • Emission (disposal to land, water or air); • Excavation requirements; • Transportation requirements; • Duration of construction, operation, decommissioning etc; • Other. 	<p>The restoration will result in additional toilet provision at this location and the provision of additional sinks in the craft units. However, as it is intended to ultimately close the toilet block adjacent to Grange Rd carpark,, it is not anticipated that there will be any significant increase in the quantity of sewage to be treated at the treatment plant in Ringsend, and hence there will be not be any significant impact on the water quality within the SPA.</p>

Describe any likely changes to the site arising as a result of : <ul style="list-style-type: none"> • reduction of habitat area; • disturbance to key species; • habitat or species fragmentation; • reduction in species density; • changes in key indicators of conservation value (water quality etc) 	Given the distance of the proposed development from the site and the fact foul water is being discharged to the foul sewer, no impacts are anticipated.
Describe any likely impacts on the Natura 2000 site as a whole in terms of: <ul style="list-style-type: none"> • interference with the key relationships that define the structure of the site; • interference with key relationships that define the function of the site. 	Given the distance of the proposed development from the site and the fact foul water is being discharged to the foul sewer, no impacts are anticipated.
Provide indicators of significance as a result of the identification of effects set out above in terms of: <ul style="list-style-type: none"> • loss • fragmentation • disruption • disturbance; • change to key elements of the site (eg water quality etc) 	No potential adverse impacts have been identified.
Describe from the above those elements of the project or plan, or combination of elements, where the above impacts are likely to be significant or where the scale or magnitude of impacts are not known.	As no adverse impacts have been identified, it is not anticipated that there will be any in-combination effects from other projects or plans.

Matrix 4: Wicklow Mountains Sac (site code: 002122)

Brief description of the project or plan	See section 2
Brief description of the Natura 2000 site	<p>This site is a complex of upland areas in Counties Wicklow and Dublin, flanked by Blessington Reservoir to the west and Vartry Reservoir in the east, Cruagh Mt. in the north and Lybagh Mt. in the south. Most of the site is over 300m, with much ground over 600m and the highest peak of Lugnaquilla at 925m.</p> <p>The Wicklow Mountains are drained by several major rivers including the Dargle, Liffey, Dodder, Slaney and Avonmore.</p>

	<p>Wicklow Mountains is important as a complex, extensive upland site. It shows great diversity from a geomorphological and a topographical point of view. The vegetation provides examples of the typical upland habitats with heath, blanket bog and upland grassland covering large, relatively undisturbed areas. In all ten habitats listed on Annex I of the EU Habitats Directive are found within the site. Several rare, protected plant and animal species occur. Rare plant species, include Parsley Fern (<i>Cryptogramma crispa</i>), Marsh Clubmoss (<i>Lycopodiella inundata</i>), Greater Broom-rape (<i>Orobanche rapum-genistae</i>), Alpine Lady's-mantle, Alpine Saw-wort, Lanceolate Spleenwort (<i>Asplenium billotii</i>), Small White Orchid (<i>Pseudorchis albida</i>) and Bog Orchid (<i>Hammarbya paludosa</i>). The latter three species are legally protected under the Flora (Protection) Order, 1999. Mammals and birds include the Otter (listed on Annex II of the E.U. Habitats Directive) and Merlin and Peregrine Falcon (listed on Annex I of the E.U. Birds Directive).</p>
Assessment Criteria	
Describe the individual elements of the project (either alone or in combination with other plans or projects) likely to give rise to impacts on the Natura 2000 site.	<p>The craft courtyard is located 3.8km from the SAC. There are no physical or hydrological links between the SAC and the craft courtyard. Therefore, there are unlikely to be any direct impacts on the Natura 2000 site or any reduction in area or deterioration in condition of important habitats such as heathland, blanket bog and species-rich <i>Nardus</i> grassland, old oak woodlands and calcareous and siliceous rocky slopes.</p> <p>Similarly, there are unlikely to be any impacts on the population size, range or habitats important to mammals or birds for which the site is designated as the current habitat within the proposed plan is comprises hard standing and is not of importance to these species.</p>
Describe any likely direct, indirect or secondary impacts of the project (either alone or in combination with other plans or projects) on the Natura 2000 site by virtue of: • Size and scale;	<p>Given the distance of the craft courtyard from the site and the fact that there is no physical or hydrological links between the SAC and the craft courtyard, no adverse impacts on the site or its interest features are</p>

<ul style="list-style-type: none"> • Land-take; • Distance from Natura 2000 site or key features of the site; • Resource requirements (water abstraction etc); • Emission (disposal to land, water or air); • Excavation requirements; • Transportation requirements; • Duration of construction, operation, decommissioning etc; • Other. 	<p>anticipated.</p>
<p>Describe any likely changes to the site arising as a result of :</p> <ul style="list-style-type: none"> • reduction of habitat area; • disturbance to key species; • habitat or species fragmentation; • reduction in species density; • changes in key indicators of conservation value (water quality etc) 	<p>Given the distance of the craft courtyard from the site and the fact that there is no physical or hydrological links between the SAC and the craft courtyard, no adverse impacts on the site or its interest features are anticipated.</p>
<p>Describe any likely impacts on the Natura 2000 site as a whole in terms of:</p> <ul style="list-style-type: none"> • interference with the key relationships that define the structure of the site; • interference with key relationships that define the function of the site. 	<p>Given the distance of the craft courtyard from the site and the fact that there is no physical or hydrological links between the SAC and the craft courtyard, no adverse impacts on the site or its interest features are anticipated.</p>
<p>Provide indicators of significance as a result of the identification of effects set out above in terms of:</p> <ul style="list-style-type: none"> • loss • fragmentation • disruption • disturbance; • change to key elements of the site (eg water quality etc) 	<p>No potential adverse impacts have been identified.</p>
<p>Describe from the above those elements of the project or plan, or combination of elements, where the above impacts are likely to be significant or where the scale or magnitude of impacts are not known.</p>	<p>As no adverse impacts have been identified, it is not anticipated that there will be any in-combination effects from other projects or plans.</p>

6 Conclusions

No adverse impacts on Natura 2000 sites were identified as a result of the proposed refurbishment to the craft courtyard. Only one site, Wicklow Mountains SAC, was located within a 5km radius of the proposed works and there are no physical/ hydrological links between the craft courtyard and the site that could result in damage or deterioration to the qualifying interest features.

Three Natura 2000 sites that are located in the greater Dublin Bay have hydrological links with the craft courtyard, as the foul water from the toilets is treated at Ringsend and discharged into Dublin Bay. However, as the new toilet block will simply replace the connection held by the existing toilet block, it is not anticipated that there will be any significant increase in the quantity of sewage to be treated at the treatment plant in Ringsend. Therefore no adverse impacts on these Natura 2000 sites are anticipated.

7 References

- Department of Environment, Heritage and Local Government (2009). *Appropriate Assessment of Plans and Projects in Ireland: Guidance for Planning Authorities*.
- European Commission (2001). *Assessment of Plans and Projects significantly affecting Natura 2000 Sites. Methodological Guidance on the provision of article 6(3) and 6(4) of the 'Habitats' Directive 92/43/EEC*.

Restoration Marlay Craft Courtyard

Part 8 Report

January 2013

Part 8 Procedure

This report has been prepared to support the Council's presentation of a Part 8 Proposal under the Planning and Development Act & Regulations, as amended. There is a six (6) week period, following the publication in an approved newspaper of the Council's intention to submit this proposal to restore the Craft Courtyard, (in accordance with Part 8, Article 81 of the Planning and Development Regulations 2001, as amended), where members of the Public and other interested Bodies may make a submission in writing to the Senior Executive Officer in the Council's Planning Department.

Description of Proposals

The proposals are shown on the following drawings relating to:

Restoration Marlay Craft Courtyard Job No. 1743

Site Location Map – Drawing No. 01
Existing Site Plan/ Roof Plan/Drainage – Drawing No. 02
Proposed Craft Courtyard Existing Plans – Drawing No. 03
Existing Ground Floor Plan – Drawing No. 04
Existing First Floor Plan – Drawing No. 05
Existing Elevations – Drawing No. 06
Proposed Site Plan/Roof Plan/Drainage – Drawing No. 07
Proposed Ground Floor Plan – Drawing No. 08
Proposed First Floor Plan – Drawing No. 09
Proposed Elevations – Drawing No. 10

A Conservation report is also attached.

Dún Laoghaire Rathdown County Council propose to restore the existing Craft Courtyard building which is a protected structure in order to modernise the craft units, regularise the circulation layout internally, provide replacement public toilets for park users and staff toilets for the courtyard tenants and market vendors. The façade of the building has previously been altered and is not in it's original condition and it is now proposed to restore it to what was more typical of the mid 19th Century. The former kitchen of Marlay House which forms part of the courtyard will be converted into an exhibition space from where the craft tenants can display produce or give lectures and demonstrations to the public.

It is proposed to change the use of the existing residential apartment (which is not currently being lived in) to commercial use. The building will be upgraded to comply with current fire regulations. The craft courtyard will be used for the purposes of craft work and retail of craft produce crafted on site. It is intended that there can be an element of artisan food prepared on site or sourced locally and retailed from the craft courtyard.

The maximum number of units that can be accommodated in the refurbished development is 24. Depending on the market when these become available, there may be more demand for larger units and a tenant may rent two or more adjoining units depending on their requirements. The existing numbering system in the courtyard will change to reflect the new number of units proposed by this proposal. There is provision for a maximum of 40m² of the unit space on the first floor to be used as office space. Currently there are potentially eight vacant units and nine occupied units. There is an existing ESB room within the complex which will be retained. The existing spray room will be re-located. The spray room is a facility used by crafts people to spray varnish onto wooden instruments in a ventilated and clean environment.

The south wing of the courtyard was refurbished in 2012, no structural changes were made. As part of this development there will be some structural changes to the south wing in the form of new and replacement windows and sinks will be plumbed into four of the already refurbished units.

On completion of this refurbishment, the public toilet block adjacent to the car-park at Grange Road will be decommissioned, as due to the lack of passive surveillance at that location it is very prone to being vandalised. The replacement public toilets will be an integral part of this refurbishment project.

The following is a general description of the proposed works:

Walls (external): Repairs to defective plasterwork, Re-pointing in lime mortar and Redecoration

Roofs: Remedial works are required to the chimneys' on the north block including work to the lead flashings, repairs to slates including any replacements like for like. Repair and make good, gutters, rain water pipes and soffits.

External windows and doors: Repairs and replacement of external joinery (see proposed elevations).

Energy insulation to roofs and walls: The units will be internally insulated.

Passive Fire Protection: Installation of smoke detectors/alarms, lit exit signs and emergency lighting.

Compartmentation works: Works to seal compartment walls and floors to form fire compartments shall be undertaken as required to achieve Fire Safety Certification requirements. _Compartmentation shall be to approved details and concealed intervention in the fabric shall be maintained to a minimum level.

Services: Service installations shall be installed in an unobtrusive manner sympathetic to the original layout and shall be concealed
Service runs or ducts shall not cut through primary features and locations to be approved by the historic building consultant

Required interventions:

New fire doors
Fire alarm installation
Emergency Lighting
Lit Exit signs
Sounders and break glass units

Fire escape stairwells: The staircases were altered in the 1990s and will require to be further altered to approved details to meet fire escape requirements.

Finishes internal: The highest quality of finishes is required
Walls and ceilings: Generally paint finish selected historic tints
Floors: Varnished Timber/ sealed stone or selected ceramic tile

Location & Site Description

The Craft Courtyard is located adjacent to Marlay House, (north-west of the house). The building infrastructure all exists and it takes the form of three wings.

Zoning & Policy Objectives

In terms of the Dun Laoghaire-Rathdown County Development Plan, 2010-2016, the subject site is zoned 'Objective F', 'To preserve and provide for open space and amenities with ancillary active recreational amenities'.

'Craft Centre/ Craft Shop' are 'Open for Consideration' within this land use in existing premises. A Craft Centre/ Craft Shop is defined in Section 18.8 of the Dun Laoghaire Rathdown County Development Plan 2010-2016 as 'A building or part thereof typically having one or more workshops, an exhibition gallery and a shop'.

Marlay Park House and Stableyard/Craft Area are Protected Structures as identified on map 5 of the County Development Plan 2010-2016 which include:

- RPS No.1518 – Marlay Park House and Stableyard/Craft Area.

It is considered that the relevant policy objectives as set out within the County Development Plan 2010-2016 in respect of the proposed development include:

- Policy LHB15: Historic Demesnes and Gardens
- Policy OSR3: Future Improvements
- SLO 23 Map 5: To progress the Masterplan for Marlay Demesne

Aims of Proposals

These proposals aim to refurbish the craft units, create additional units, improve internal circulation upstairs, provide staff and public toilets within the complex, provide a range of sizes of units which will encourage a range of craft enterprises into the courtyard. The overall aim is to increase the attractiveness of the craft courtyard to attract additional craft enterprises which will raise the public profile of the complex and establish a vibrant and creative environment where a range of craft work is produced and retailed from the courtyard. The craft courtyard also needs to make a return on the investment proposed and become financially sustainable in the longer term.

Boundaries

The actual craft courtyard building forms three sides of the existing courtyard with a wall forming the fourth side. A section of Marlay House forms part of the south side of the courtyard.

Layout, Circulation, Access and Parking

There are six (6) existing entrances to Marlay Demesne, three (3) of which are vehicular and three (3) pedestrian. A Masterplan has been prepared for Marlay Demesne, which proposes additional three (3) entrances, one of which will be vehicular.

There are three access points into the craft courtyard from the east (adjacent to the front of Marlay House), the south (from the park and rear of Marlay House) and from the west (adjacent to the car-park used by the craft tenants). The building is two storeys with several staircases to the first floor level, some units are spread over two levels. Disabled toilets for use of the public are sited under the archway which forms the entrance from the west and additional public toilets are located on the ground and first floors. Staff toilets are on the first floor. All units have their own individual lockable door, some are accessed directly from the courtyard and others from internal corridors.

Parking

The public parking pertaining to the craft courtyard is the car-park off Grange Road. There are 173 lined car-parking spaces in the main car-park and a further 90 unmarked spaces in the adjoining overflow car-park giving a total of capacity of 262 spaces. There are approx 20 unlined spaces in the car-park to the west of the craft courtyard to cater for craft tenants and their employees. There is cycle parking in the carpark also

Drainage

The surface and roof water drain into adjacent soak holes and it is proposed to run a foul sewer (150mm diameter) around the outside of the courtyard which will connect to an existing 150mm diameter sewer in the Park to service the internal sinks and the new toilets.

Lighting

There is lighting over the doors into the craft courtyard units which provide lighting sufficient to illuminate the craft courtyard outdoor space.

Opening Hours

The craft courtyard is open to the public during park opening hours, from 9.00am daily to following closing times which vary with daylight hours

November, December & January	17.00
February, March & October	18.00
April	21.00
May, June, July & August	22.00
September	20.00

Biodiversity

Existing vegetation in the form of wall climbers within the courtyard will be retained so as to maintain existing shelter and wildlife habitat. The vegetation and planting surrounding the outside of the craft courtyard will be retained.

Vegetation & Landscape treatment

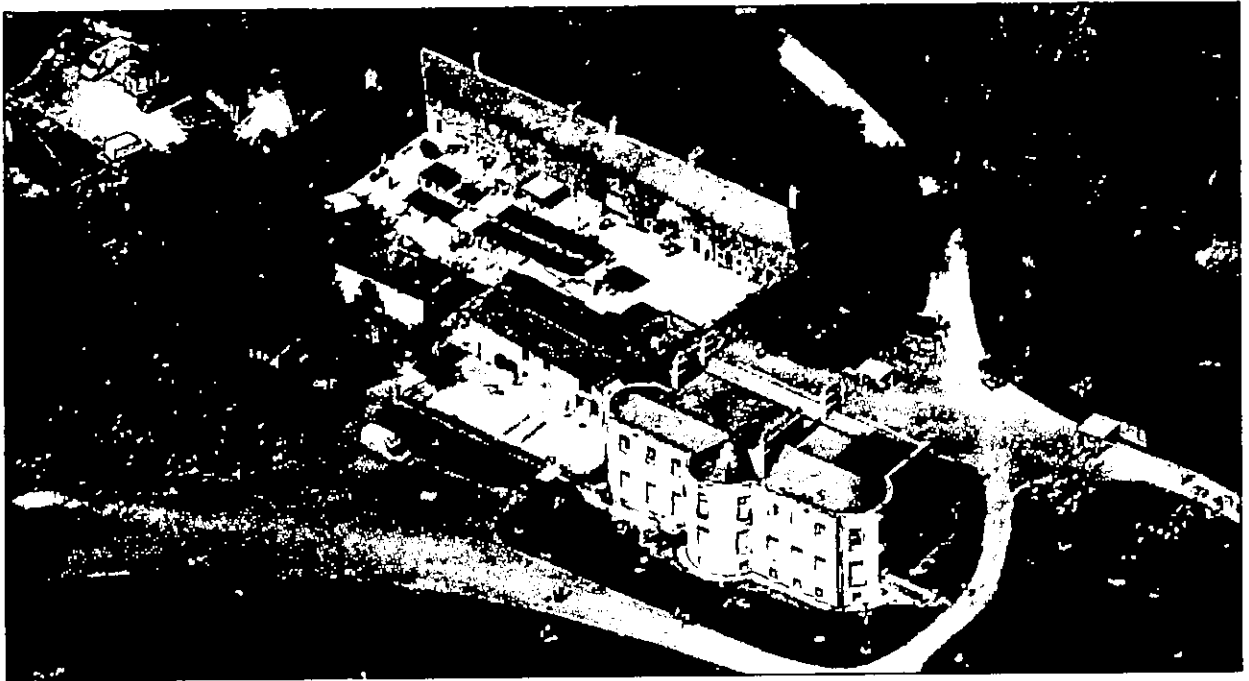
All existing vegetation will be retained. Some pruning will be required to take the vegetation back from the actual building where access is required to carry out specific works.

Signage

Signage in keeping with the historic nature of the courtyard will be provided for each unit.

Environmental Impact Assessment (EIA)

The proposed refurbishment of the craft courtyard does not require an Environmental Impact Assessment as the scheme is not development of the type set out in Part I, nor sub-threshold development as out in Part II, of the First Schedule, Article 24 of S.I. No 349/1989: European Communities (Environmental Impact Assessment) Regulations, 1989.



Conservation Report

Proposed Restoration Works to the Craft Courtyard

Marlay House
Marlay Park

Dublin

November 2012

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1.0 Introduction

Scope of this report

This report is carried out as part of a Part 8 process for the restoration of the existing Courtyard complex of buildings adjoining the main house in Marlay Park. All of the proposed works are to the Courtyard buildings and to the kitchen wing of the House.

The House and Courtyard buildings are protected structures and are significant in the context of the Park, which is the largest park in Dun Laoghaire Rathdown.

The report examines the importance of the buildings, outlines the historical information and seeks to identify the importance of the buildings in architectural terms. It also examines the impact of the proposed works on the protected structure.

2.0 Historical background

Cartographic history

The lands on which Marlay Park are located have references in Balls History of County Dublin, from at least Anglo Norman times as part of St Mary's Abbey, later noted as the Grange. The demesne was in private ownership until its purchase in 1972 by Dublin County Council.

Interventions to the buildings date from the sequential change of owners, until the present day. The Grange is recorded as purchased in 1690 by Thomas Taylor, "an eminent agriculturist". His grandson, James Taylor, also lived at the Grange and served as Lord Mayor of Dublin.

Contemporaneous descriptions of the Grange state that "a grand house was built by him with an ornamental garden and deerpark near Kilmashogue." This structure appears on Roque's Map 1757.



Plate no 1 Extract from Roque's Map

An ornamental garden is evident to the right hand side of the building

In a survey of the structure in 1990 the area between the main house and the kitchen contained panelled rooms, corner fireplaces and shouldered architraves, indicative of the late 17th century house which was later incorporated into the LaTouche building. Existing elements within the structure of the main house also relate to the architectural style of the mid 17th century.

Notably the principle bedroom and adjoining room on the first floor has an early cornice, timber sheeted walls and wallpaper examined in these rooms was dated to 1760.

It is not possible without archaeological excavations to ascertain if elements of the original house were demolished. From examination of Roque's Map, it appears reasonable to infer that a section of the building to the south of the existing building was demolished.

This would leave the kitchen wing, main staircase in the house, hall and bedrooms over as the central elements of the original 17th century building.



Plate 2 Panelled room adjoining the Kitchen Wing This material was removed in later works to the structure in c.1992



Plate No. 3 Photograph south elevation 17th century façade

In 1764 Marlay House was purchased by David LaTouche and his wife Elizabeth Marlay and extended by them in at least two successive interventions.

The house we see today was largely completed in 1794.

The elliptical room to the south, the Library, the Music Room and the rooms to the front on the east façade and first floor bedrooms over were added to the building.

Apart from the evidence of contemporaneous plaster detailing, evidence still remains in a window from the main bedroom which was closed up. The ope still exists, concealed behind the walls of the additional room. Also the remnants of exterior plaster were observed concealed behind the abutting internal walls.

The Tedcastles purchased the estate in 1864 and it is likely that their interventions comprise the Victorian alterations to the buildings. Elements in the Courtyard of brickwork including the bay section on the north block alterations to the original cottage ornée Laurelmere and the alterations to the entrance hall and stairwell to the main house including the columns and pilasters.

The map of the demesne in 1847 clearly shows the footprint of the Courtyard

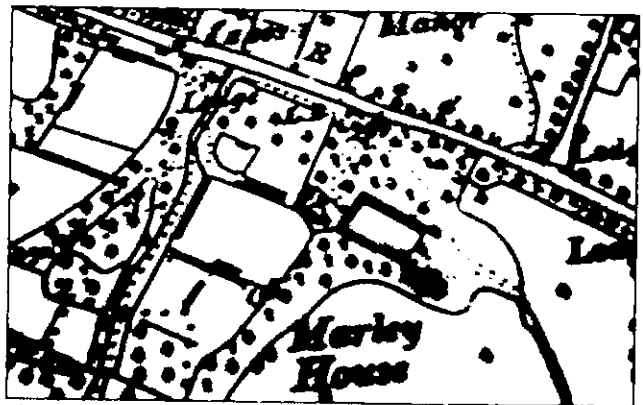


Plate no 3

O.S. MAP 1847

3.0 Architectural description Significance and protection

Courtyard adjoining the House

The Courtyard is generally a two storey stables with an A slated pitched roof. The Courtyard is built on three sides with an enclosing wall to the east. There is a recent single storey extension to the north of the kitchen to the main house. The buildings are of stone construction, with brick chimneys and brick reveals to a mixture of timber and metal windows and door opes.

The wall to the east provides visual separation from the formal entrance to the house. The axis of the courtyard is north south. Apart from the kitchen wing, the buildings appear to have been ancillary accommodation to the main house stables and farm buildings.

Early timber sash windows, flush in the face of the façade, exist on the first floor of the north block. There is a bay window section to the north with 19th century detailing and window fenestration. During the early 20th century a number of metal windows were inserted into new opes and a number of what appear from their detailing to be 18th or 19th century opes also had what would have been timber windows replaced with metal windows.

Part of the upper floor on the north block was residential and Evie Hone stained glass artist is said to have lived here. It is not possible to show how this complex evolved as there is very little architectural evidence in the remaining structure as substantial works were undertaken in the 1980's by Dublin County Council.

These works included the demolition of the single storey building linking the kitchen wing and the south block. This structure had a curved ceiling under a pitched roof and a bell tower and may have served as a dairy to the Kitchen. This is illustrated below.



Plate no 4 Demolished Bell Tower

The stone work to entire courtyard was repointed externally. Window and door opes were altered and contemporary window and door screens inserted to replace original stable doors and sash windows.

4.0 Conservation Philosophy

Proposed restoration Conservation Principles

All restoration works will be carried out in accordance with the best conservation principles in accordance with the Guidelines of the Department of the Environment Heritage and Local Government, and in accordance with the principles of the Venice and Burra Charters. The existing building and all interventions shall be recorded. The historic and artistic work of the past will be respected without excluding the style of any given period.

Interventions

It is the object in carrying out the works that the works will be limited to the minimum intervention necessary for the survival of the property and its suitability for current occupancy standards. All features of importance to be retained and protected.

It is intended to carryout, in all cases where possible, repairs rather than replacement of original fabric and new repairs should be discernable without distracting from the structure. Unsatisfactory repairs and alterations which disfigure or compromise the visual amenity of the structure will be replaced.

Decay

Where decay occurs before repairs are undertaken an analysis should be undertaken of the cause of the deterioration and the repair should address the remediation of the fault. Detailed inspections to be carried out prior to the works being undertaken. Only appropriate works to be undertaken. New materials only to be used where original methods are unobtainable.

Supervision

Supervision of the works shall be under the direction of a suitably qualified person with conservation experience.

Contractors

Only contractors with proven experience in working on historic buildings shall be engaged on the works. Method statements will be required as directed by the conservation architect.

Scope of the works

Walls

External

Repointing in lime mortar

Repair of brick reveals new opes as shown to be in keeping with the existing opes and finishes. Brickwork to be in imperial stock bricks to selected samples.

Treat all vegetation with approved systemic weed killer and allow 14 days before removing vegetation. Rake out joints to remove all loose material and form joint minimum of 38mm from inner extreme of spalled face.

Grout up with lime putty and take care to ensure joint widths are not increased. Cutting out to leave a clean square face and ensure new joints are wetted before placing new mortar. Finished joints to be finished with a stippled stiff brush after the initial set has taken place by tapping the bristles against the face of the joint. Keep the masonry clean wash and brush down with a soft bristle brush if required. Cutting out is to be done with plugging chisels, long necked jointing chisels and toothed masonry chisels with a 1 kg hammer. Cold chisels are not to be used.

Weather conditions

Do not work while the air temperature is below 3 degrees on a rising thermometer or below 7 degrees on a falling thermometer. Ensure the temperature remains above 4 degrees for 96 hours after application.

Cover with moist sacks to maintain humidity. Protect from rain for two weeks.

Internal Lime plaster

Repairs to defective plasterwork internally. Repair existing lath and plaster. Historic plaster and renders to be used for repair. No existing sound plaster to be removed.

Redecoration

Selected tints to approved samples by historic paint manufacturers to sound dry surfaces to conservation architects schedules and specification.

Roofs

Remedial works are required to the chimneys' on the north block including work to the lead flashings, repairs to slates including any replacements like for like.

Repairs are required and making good to gutters rups and soffits. Any plastic gutters or downpipes to be replaced with cast iron fittings.

External windows and doors

Repairs and replacement of external joinery. Existing timber windows to be repaired as required. Timbers to be spliced and made good sashes re-hung and ironmongery to be repaired and replaced to match existing. Where a heavy build up of over painting has occurred, joinery shall be stripped back in-situ using a solvent solution.

Existing glass to be carefully removed and stored and replaced. New glass to repaired windows to be 3mm crown glass to small panes.

New doors to the ground floor replacing late 20th century doors and windows shall be double glazed in the contemporary design and be semi hardwood frames.

Internal Doors

Existing doors Panelled and pre 20th century detailed.

All pre 20th century doors to be retained together with any architraves or skirtings preserved and repaired insitu or removed and replaced and reused as noted.

Fireproofing of compartment floors.

Rockwool supported by chicken wire fixed to battens to the underside of the floor joists in accordance with the Fire Certification requirements to be installed.

Energy

Insulation to be installed to roofs and walls unobtrusively so as not to impact on original fabric.

Passive Fire Protection Compartmentation work

Works to seal compartment walls and floors to form fire compartments shall be undertaken as required to achieve Fire Safety Certification requirements.

Compartmentation shall be to approved details and concealed intervention in the fabric shall be maintained to a minimum level.

Services

Service installations shall be installed in an unobtrusive manner sympathetic to the original layout and shall be concealed. Service runs or ducts shall not cut through primary features and locations are to be approved by the conservation architect.

Required interventions

New fire doors

Note New doors will not replace existing period doors and will be installed as per the drawings.

Fire alarm installation Emergency Lighting Lit Exit signs

Sounders and break glass units will be installed

Fire escape stairwells

The staircases were altered in the 1990's renovations and will require to be further altered to approved details to meet current fire escape requirements.

An existing railing to staircase no 6 (as marked on the plans) will be retained and reincorporated into the new stairs.

Finishes Internal Standards

The highest quality of finishes is required and contractors shall prepare samples of the works at the architects discretion for approval for repairs as directed.

Walls and ceilings

Generally paint finish selected historic tints

Floors will be Varnished Timber and sealed stone. Any existing stone floors will be retained. Some wet areas will be finished in appropriate ceramic tile. Existing timber floors will be treated if necessary and retained.

Appraisal of the works

Craft Courtyard

The existing partial use of the complex as a craft courtyard, vacated residential use, unused vacant sections of the buildings and ancillary use for the park will be consolidated with the restoration of the buildings into a dedicated Craft Courtyard with Resource Space in the refurbished kitchen wing of the House.

The recent fire in part of the buildings illustrates the vulnerability of the buildings to loss by fire and the proposed works to upgrade this element is necessary to ensure the survival of the complex.

The increase in the number of units to 22/23 units will consolidate the craft use, improve the footfall to the complex and the improved access to the buildings will provide options for new craft enterprises.

5.0 Impact on the historic character of the structure

The retention of the existing small rooms in the plan will provide small units which retains the existing grain of the rooms, protects the original layout and shape of the buildings and preserve the ambience and character of the buildings.

Small and medium craft enterprises can be accommodated with options to let the units singly or in combinations to permit craft persons to undertake their businesses in suitable sized units and allowing them to be sustainable in the Park.

6.0 Record Photographs



Plate 6 Original entrance

Record Photographs



HOUSE APPROACH FROM EAST



EXTERIOR COURTYARD VIEW



INTERIOR COURTYARD VIEW



NEW EXTENSION TO KITCHEN WING



INTERIOR COURTYARD VIEW
SOUTH BLOCK KITCHEN WING I



WEST NORTH



INTERIOR VIEW SOUTH BLOCK



EXTERIOR VIEW SOUTH BLOCK /
KITCHEN WING



INTERIOR COURTYARD VIEW
ARCH TO SERVICE YARD STAFF



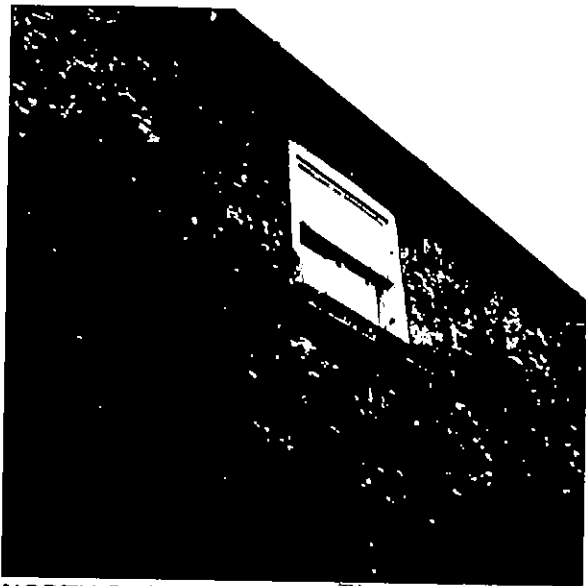
NORTH BLOCK



INTERIOR COURTYARD VIEW NORTH



SOUTH BLOCK SOUTH ELEVATION



NORTH BLOCK EARLY 18TH C WINDOW EAST VIEW



NORTH BLOCK SLATED GABLE



NORTH BLOCK
PART BAY SECTION



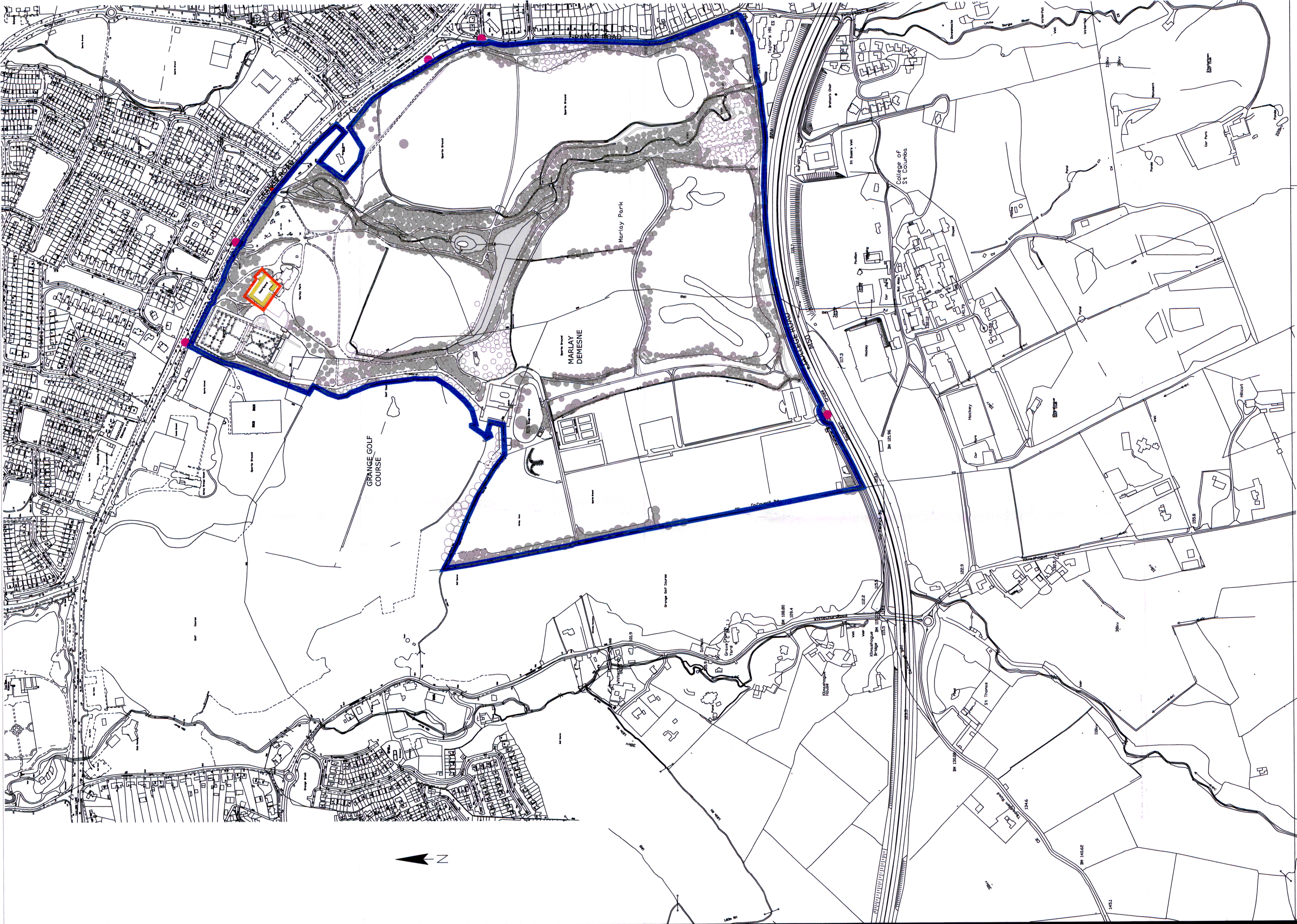
EXTERNAL ELEVATION

7.0 Historic Maps

Extract from	
Roques Map	1760
Taylor	1821
White Church Parish	1870

8.0 Plans of the proposals

G.A. drawings of the proposals are attached in A3 format.



KEY

Marlay House and Courtyard
coloured yellow

Area for restoration

Courtyard outlined in red

OS MAPS 3391-19/20/24/25


Site Boundary of Marlay Demesne

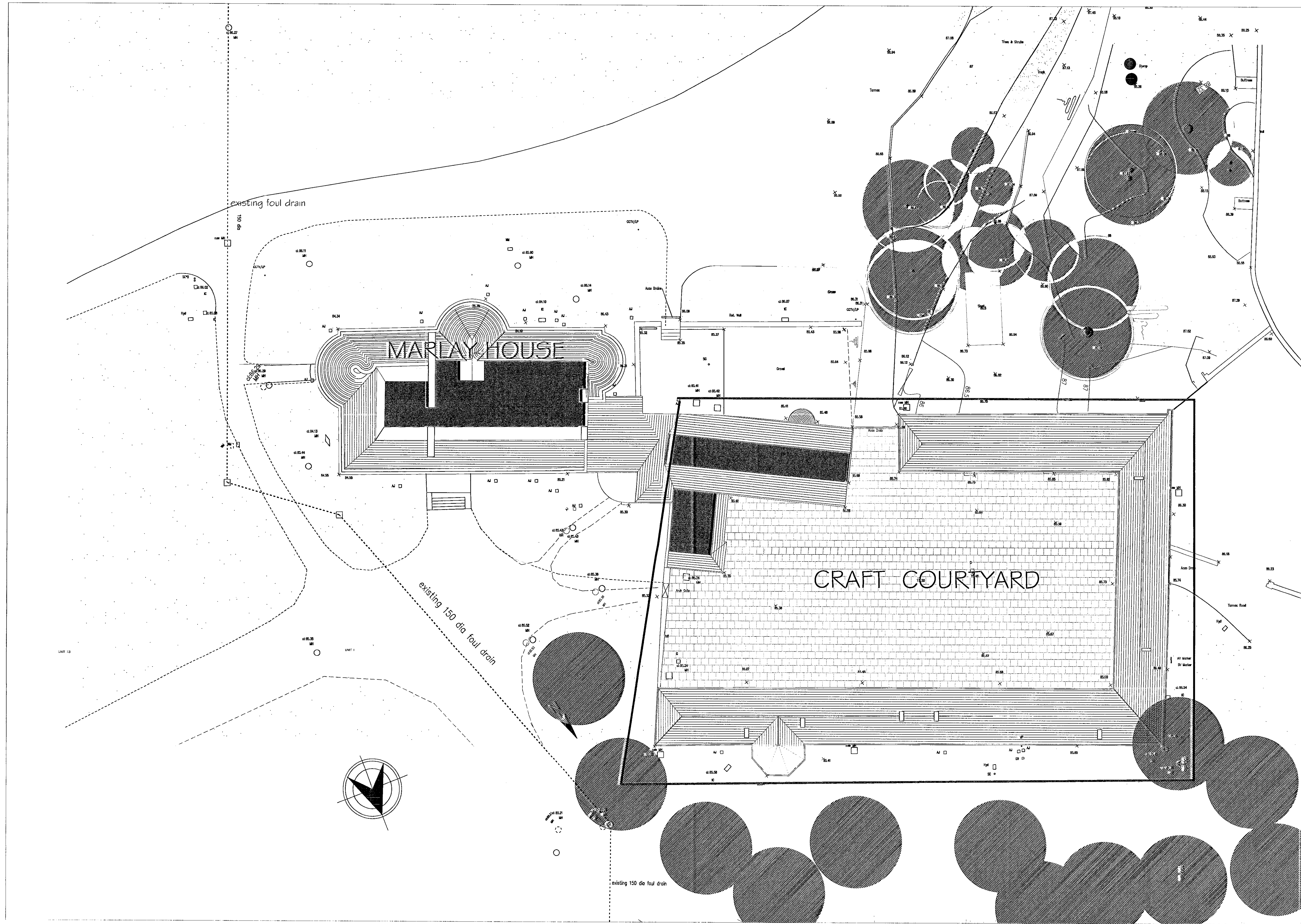
Existing entrances to Marlay Demesne

Site notices shall be located at all existing entrances and on site boundary

RESTORATION

MARLAY CRAFT COURTYARD

Rev.	Date	Drawn	Description	Do not scale from this Drawing, use figured dimensions only. Check all dimensions on site before commencing work. Report any discrepancies to Architect before proceeding. This Drawing and Designs thereon are copyright of the County Council. ©		 <div><div>Dún Laoghaire - Rathdown</div><div>County Council Comhairle Contae</div><div>Dhún Laoghaire - Ráth an Dúin</div></div>	Job: MARLAYPARK COURTYARD PART 8	1:5000@A1 1:10000@A3	Status - PART 8		
								Date - NOV 12	CAD Ref -		
								Drg: SITE LOCATION MAP	Job No - 1743	Drawing No - 01	Rev -
									Chd.		
								Includes Ordnance Survey Ireland data reproduced under Osi Licence number 2012/2500MA/ Dun Laoghaire-Rathdown County Council Unauthorised reproduction infringes Ordnance Survey Ireland and Government of Ireland copyright. © Ordnance Survey Ireland, 2012	Architects Department County Hall, Marine Road, Dun Laoghaire, Co. Dublin. Phone 2054700 Fax 2300391		



KEY

Marlay House and Courtyard Area for restoration

Courtyard outlined in blue

RESTORATION
MARLAY CRAFT COURTYARD

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Dhún Laoghaire - Ráth an Dúin

Job:
CRAFT COURTYARD, MARLAY PARK

Drq:
EXISTING SITE PLAN/ROOF PLAN/DRAINAGE

Scale - 1:500

Date - NOV 12

Job No - 1743

Chd.

Status - PART 8

CAD Ref -

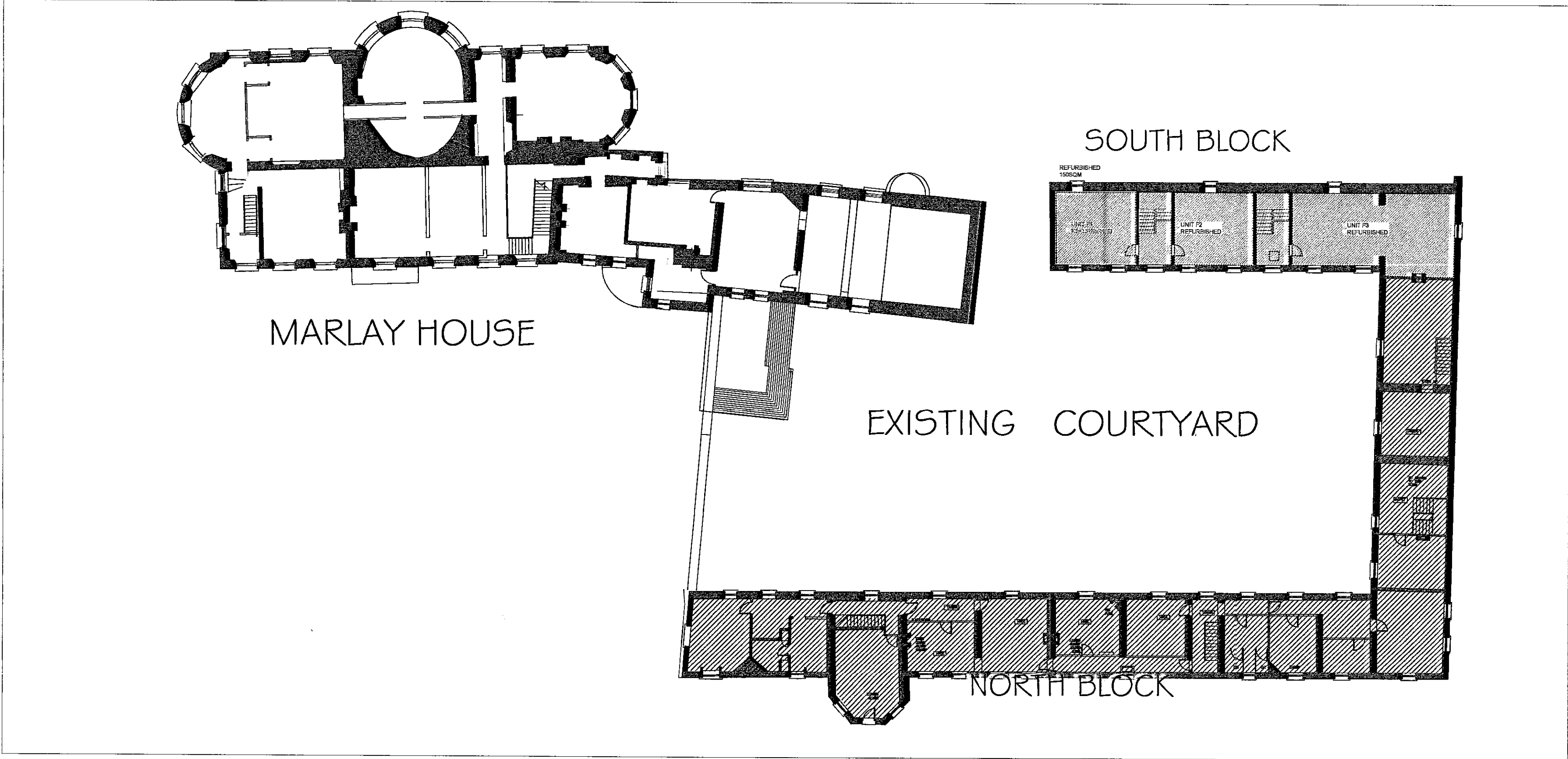
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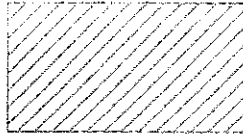
Rev -

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Phone 2054700 Fax 2300391

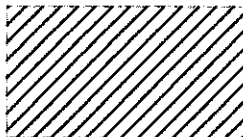
EXISTING FIRST FLOOR PLAN



KEY

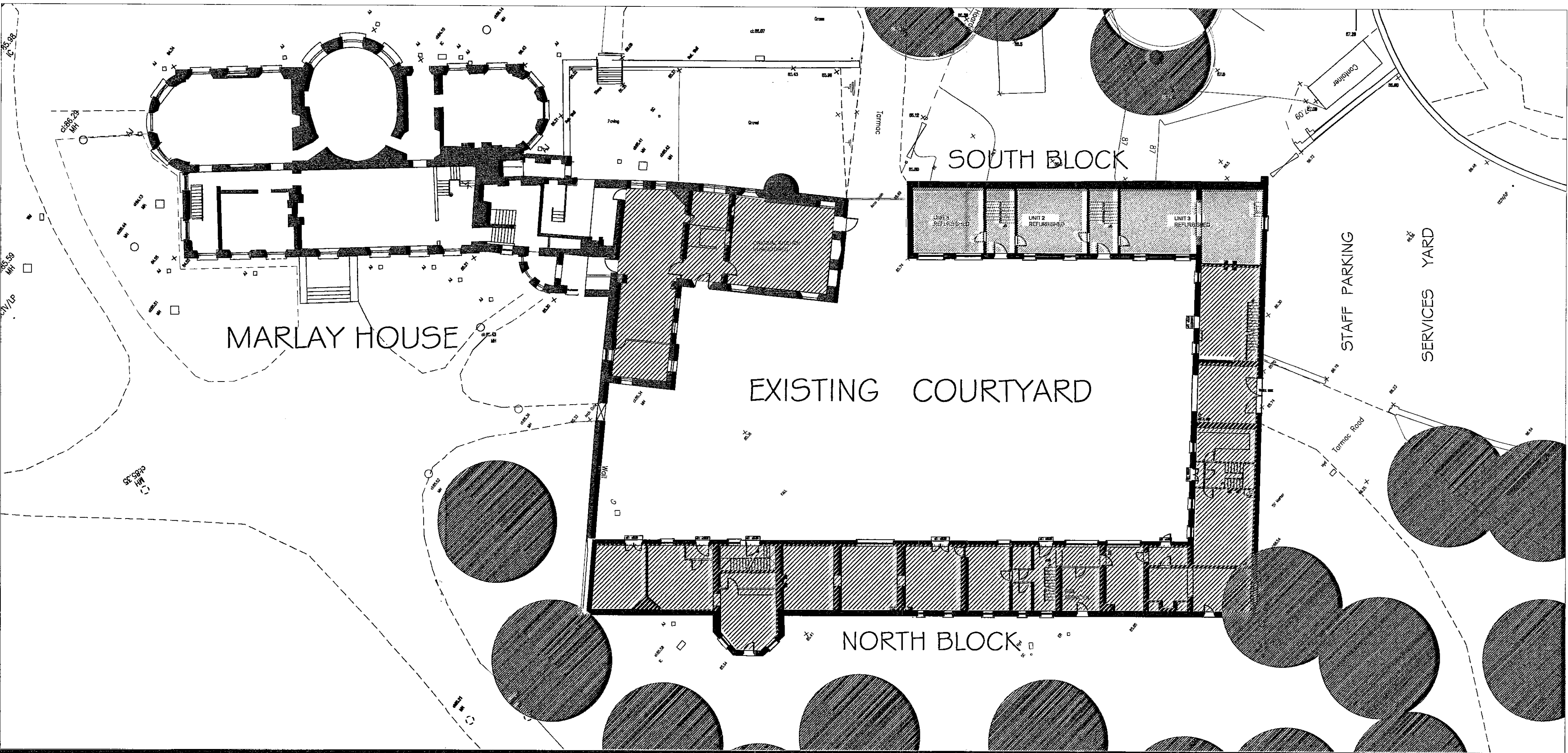


PREVIOUSLY
REFURBISHED
300SQM



AREA TO BE
RESTORED
1003SQM

EXISTING GROUND FLOOR PLAN



RESTORATION
MARLAY CRAFT COURTYARD

Rev.	Date	Drawn	Description

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Job: MARLAY PARK COURTYARD PART 8

Drg: PROPOSED CRAFT COURTYARD
EXISTING PLANS

1:250@A1/1:500@A3

Date - NOV 12

Job No - 1743

Chd.

Status - part 8

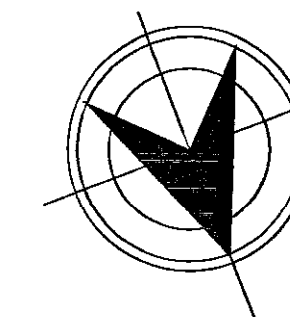
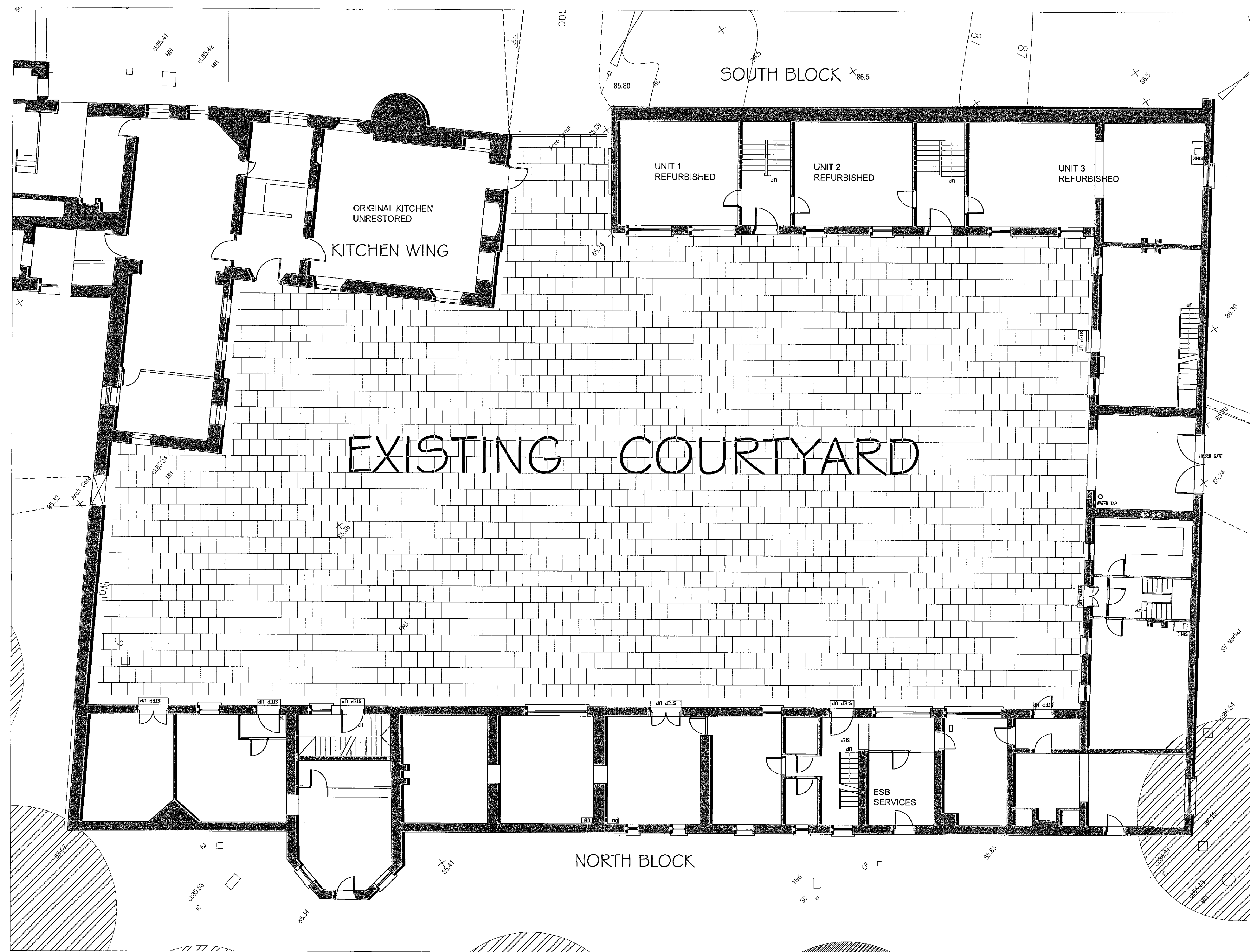
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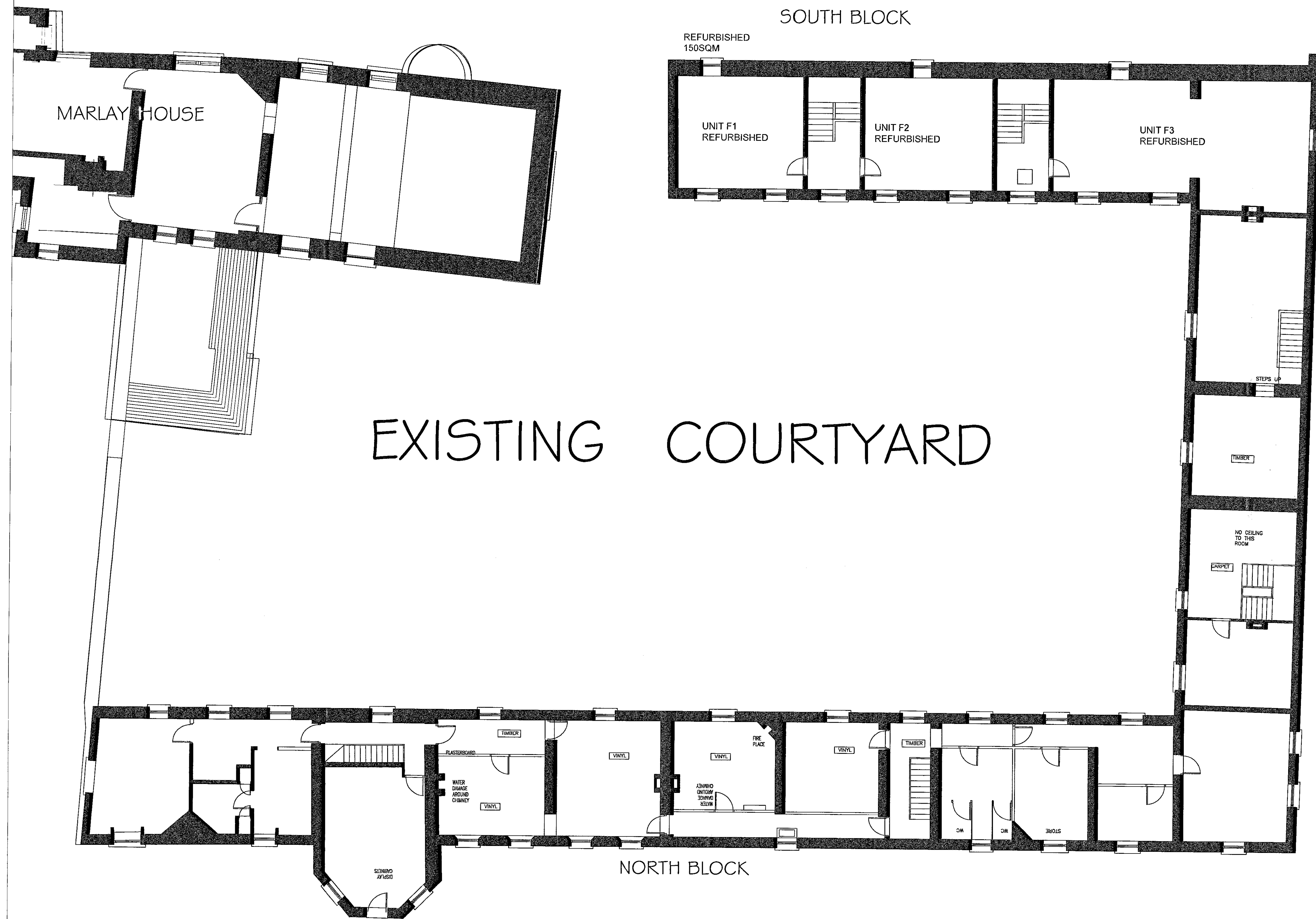
Rev -

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RESTORATION MARLAY CRAFT COURTYARD

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						Job No -	1743	Drawing No -	Rev -		
							Chd.	04			
						Drq:		EXISTING GROUND FLOOR PLAN		Architects Department County Hall, Marine Road, Dun Laoghaire, Co. Dublin. Phone 2054700 Fax 2300391	



EXISTING FIRST FLOOR PLAN

RESTORATION MARLAY CRAFT COURTYARD

Rev.	Date	Drawn	Description

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Job: MARLAY PARK COURTYARD PART 8

Drg: EXISTING FIRST FLOOR PLAN

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Date - NOV 12

Job No - 1743

Chd.

Status - part 8

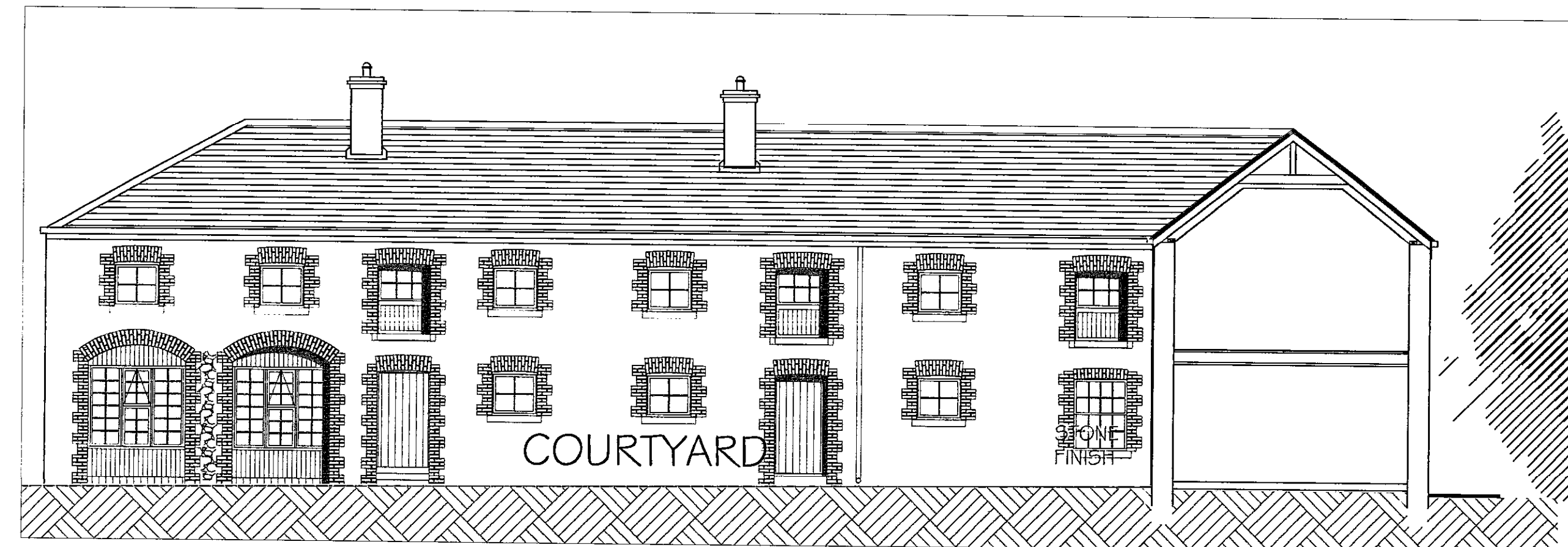
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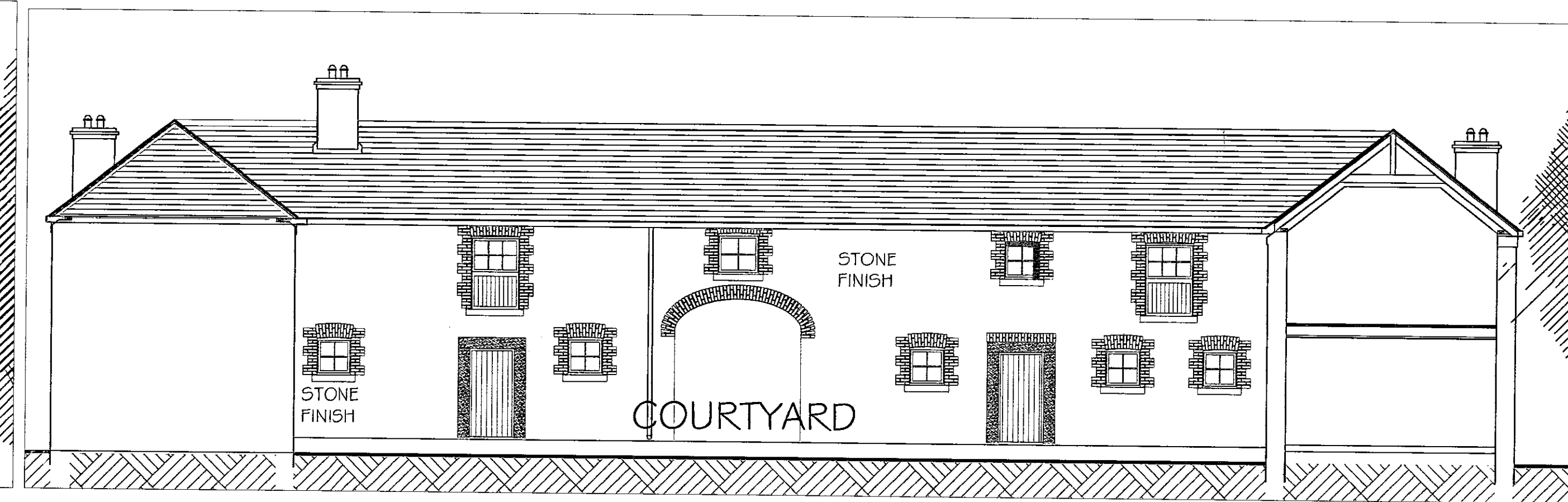
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Rev -

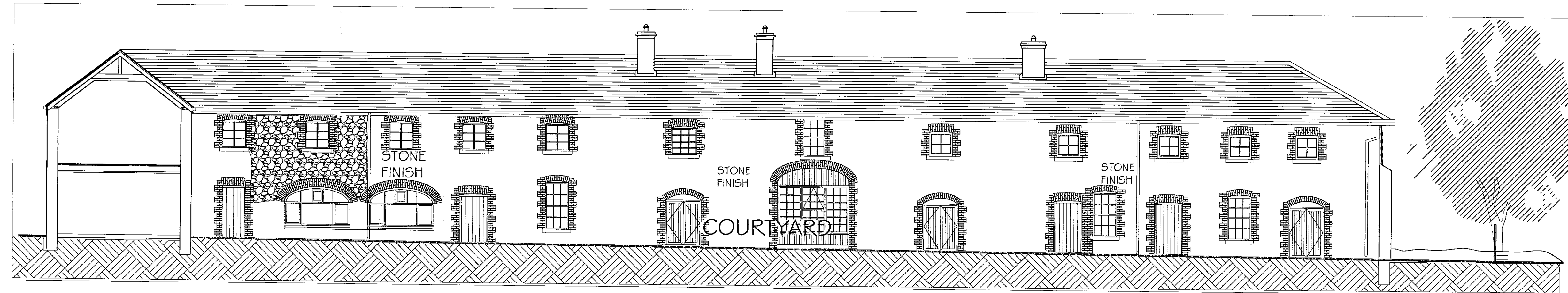
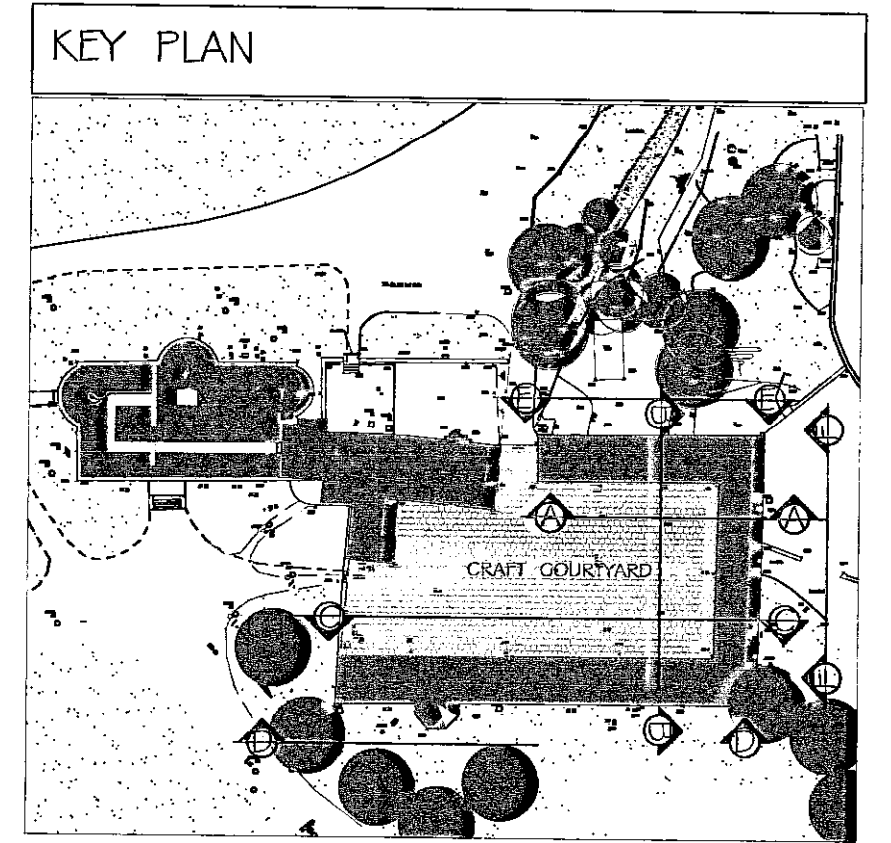
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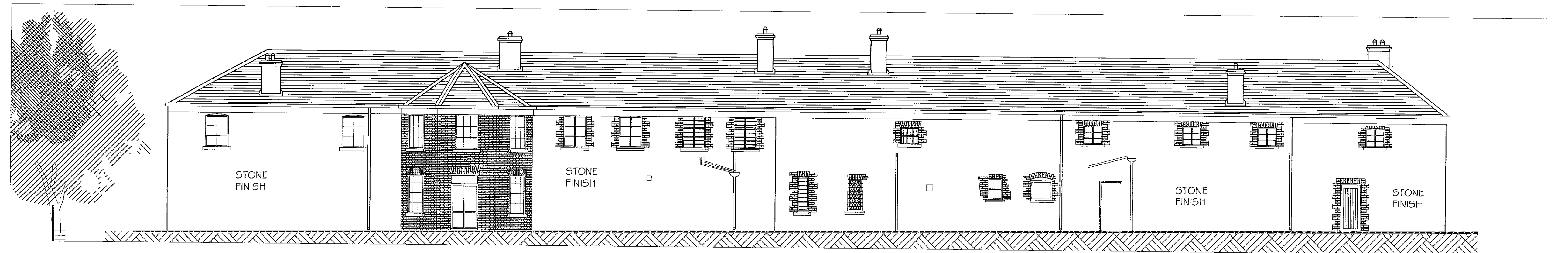
SECTION/ ELEVATION A-A



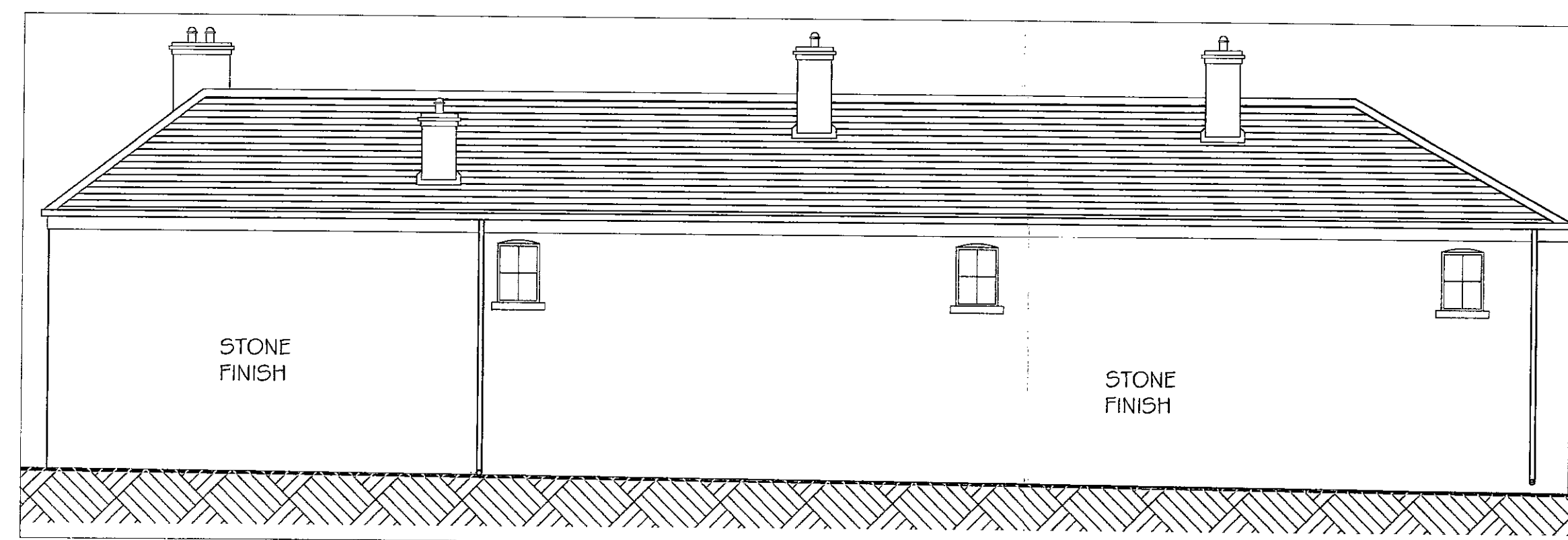
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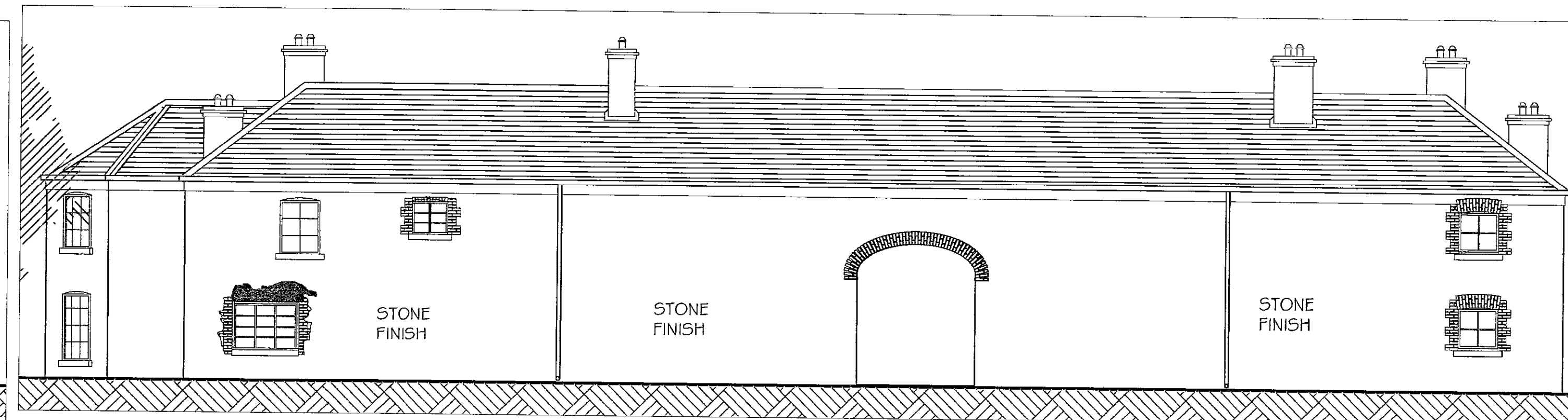
SECTION/ ELEVATION C-C



SECTION/ ELEVATION D-D



SECTION/ ELEVATION E-E



SECTION/ ELEVATION F-F

RESTORATION MARLAY CRAFT COURTYARD

Job: PART 8
PROPOSED RESTORATION
MARLAY CRAFT COURTYARD

Drg:
EXISTING ELEVATIONS

1:100@A1/1:200@A3

Date - NOV 12

Job No - 1743

Status - Part 8

CAD Ref -

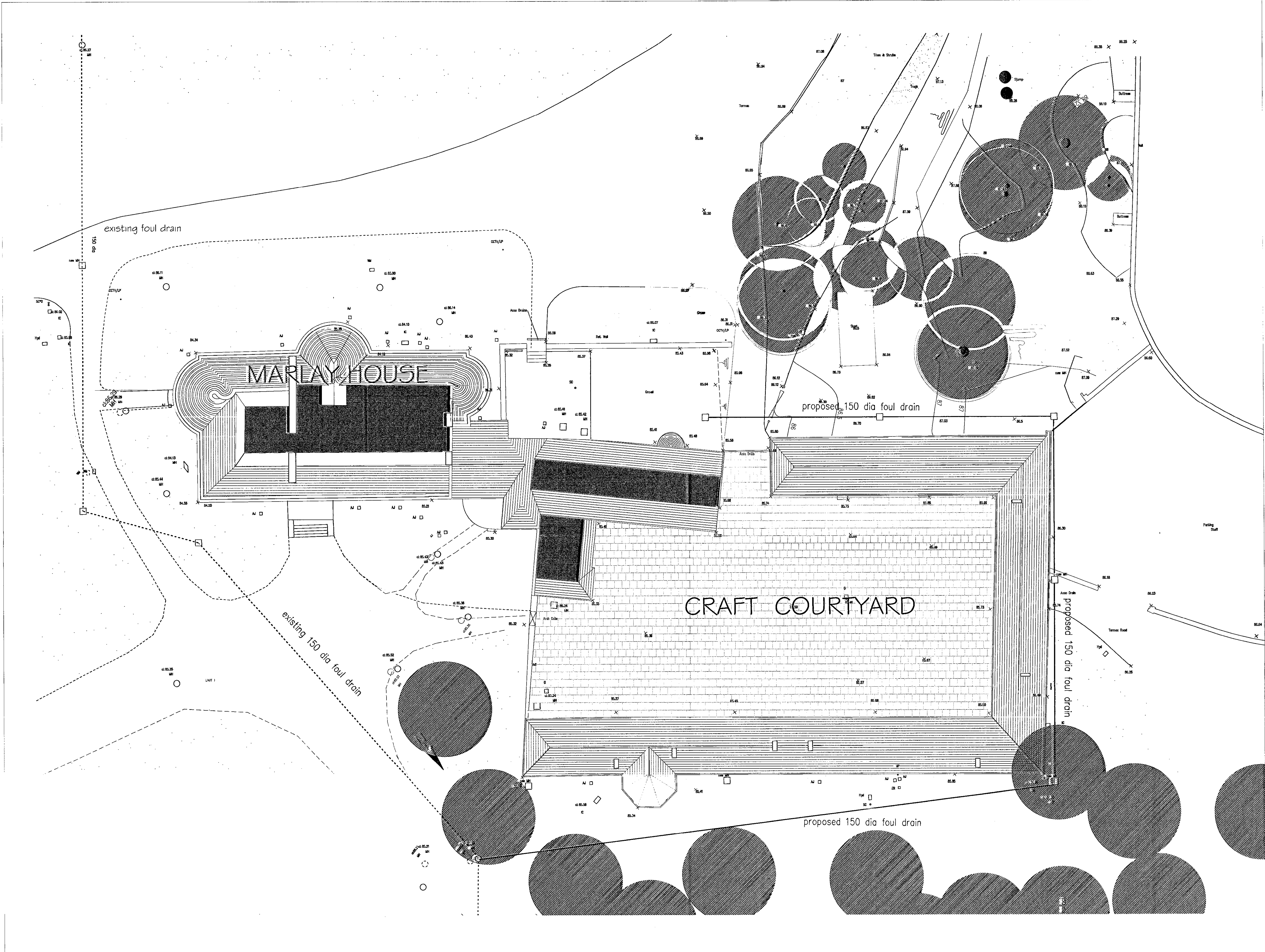
Drawing No -

Rev -

Chd.

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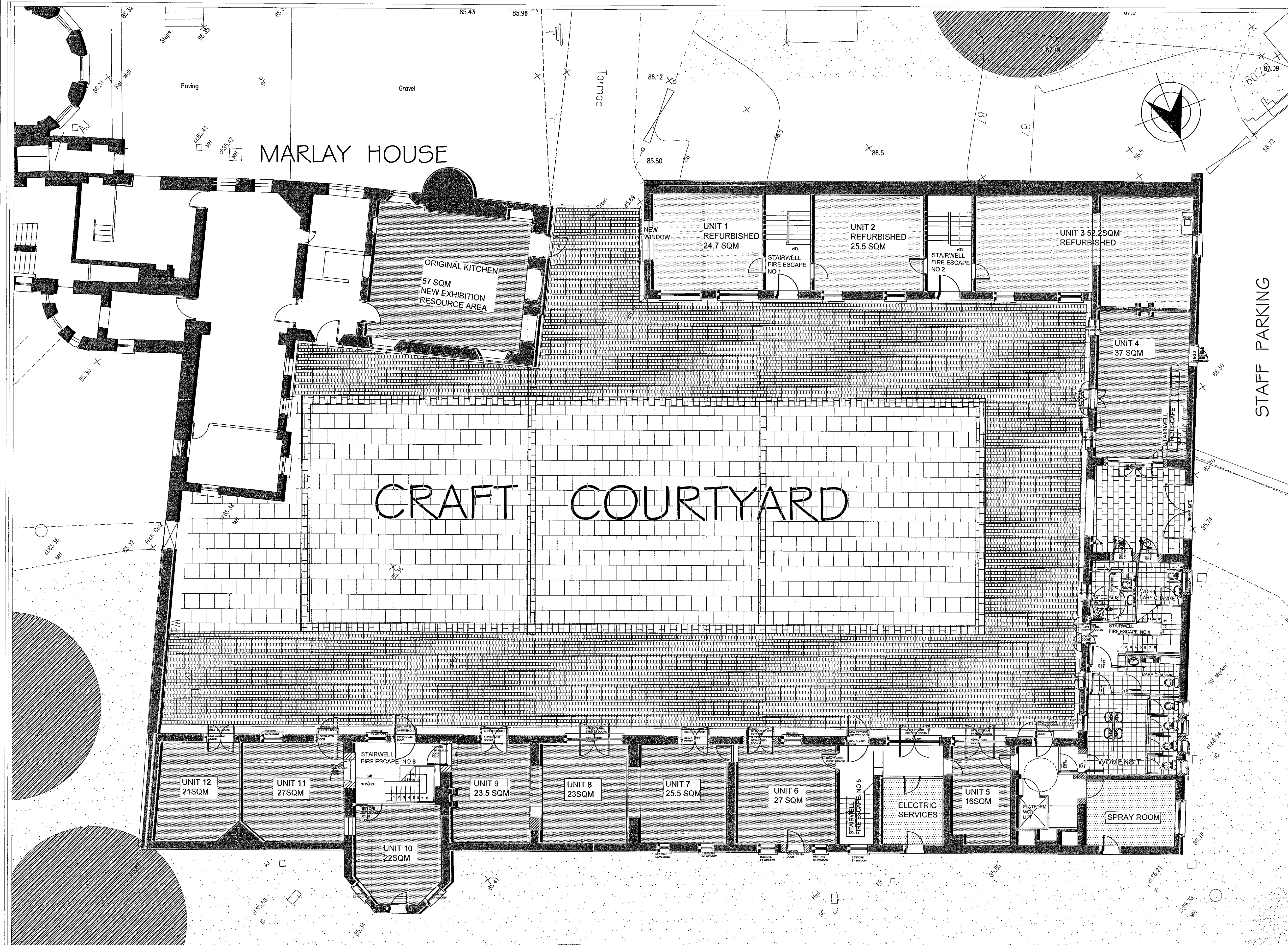


KEY

Area of Restoration Works to Marlay House and Courtyard outlined in blue

RESTORATION
CRAFT COURTYARD MARLAY

Rev.	Date	Drawn	Description	Do not scale from this Drawing, use figured dimensions only. Check all dimensions on site before commencing work. Report any discrepancies to Architect before proceeding. This Drawing and Designs thereon are copyright of the County Council. ©										 Dún Laoghaire - Rathdown County Council Comhairle Contae Dhún Laoghaire - Ráth an Dúin	Job: MARLAYPARK COURTYARD PART 8	Scale - 1:200@A1		Status - PART 8	
				Date - NOV 12		CAD Ref -													
				Job No - 1743		Drawing No -	Rev -												
				Chd.				07											
				Architects Department County Hall, Marine Road, Dun Laoghaire, Co. Dublin. Phone 2054700 Fax 2300391															
												Drg: PROPOSED SITE PLAN/ ROOF PLAN/DRAINAGE							

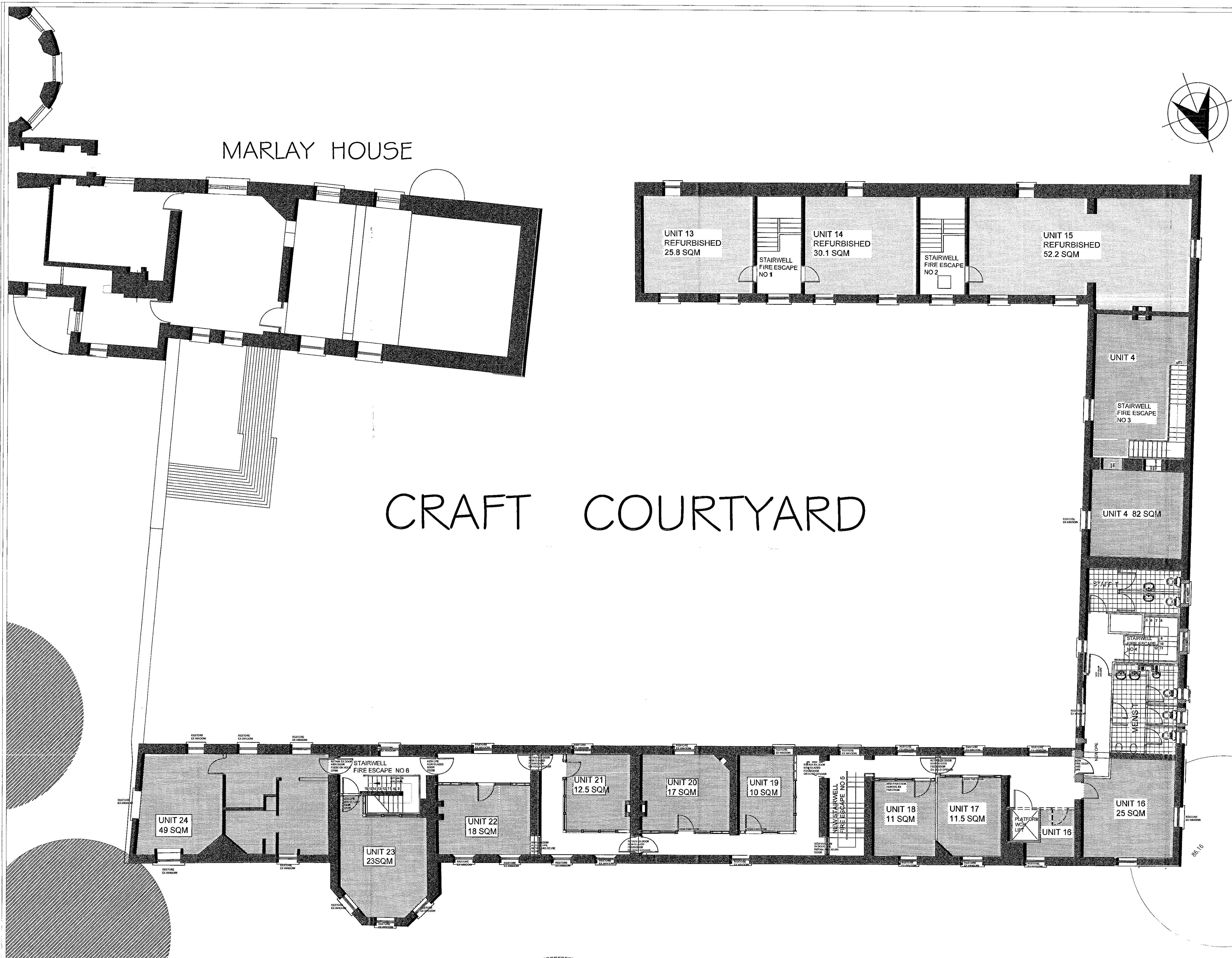


KEY

- UNITS PREVIOUSLY REFURBISHED
- NEW UNITS REFURBISHED
- NEW TOILETS
- SHARED AREAS REFURBISHED

RESTORATION MARLAY CRAFT COURTYARD

Rev.	Date	Drawn	Description	<p>Do not scale from this Drawing, use figured dimensions only. Check all dimensions on site before commencing work. Report any discrepancies to Architect before proceeding. This Drawing and Designs thereon are copyright of the County Council. ©</p>	 <p>Dún Laoghaire - Rathdown County Council Comhairle Contae Dhún Laoghaire - Ráth an Dúin</p>	Job: MARLAY PARK COURTYARD PART 8	1:100@A1/1:200@A3		Status - part 8	
							Date - NOV 12	CAD Ref -		
							Job No - 000	Drawing No - 08	Rev -	
										Chd.
							Drg: PROPOSED CRAFT COURTYARD PROPOSED PLAN GROUND FLOOR		Architects Department County Hall, Marine Road, Dun Laoghaire, Co. Dublin. Phone 2054700 Fax 2300391	



KEY

- UNITS PREVIOUSLY REFURBISHED
- NEW UNITS REFURBISHED
- NEW TOILETS
- SHARED AREAS REFURBISHED

RESTORATION
MARLAY CRAFT COURTYARD

Rev.	Date	Drawn	Description

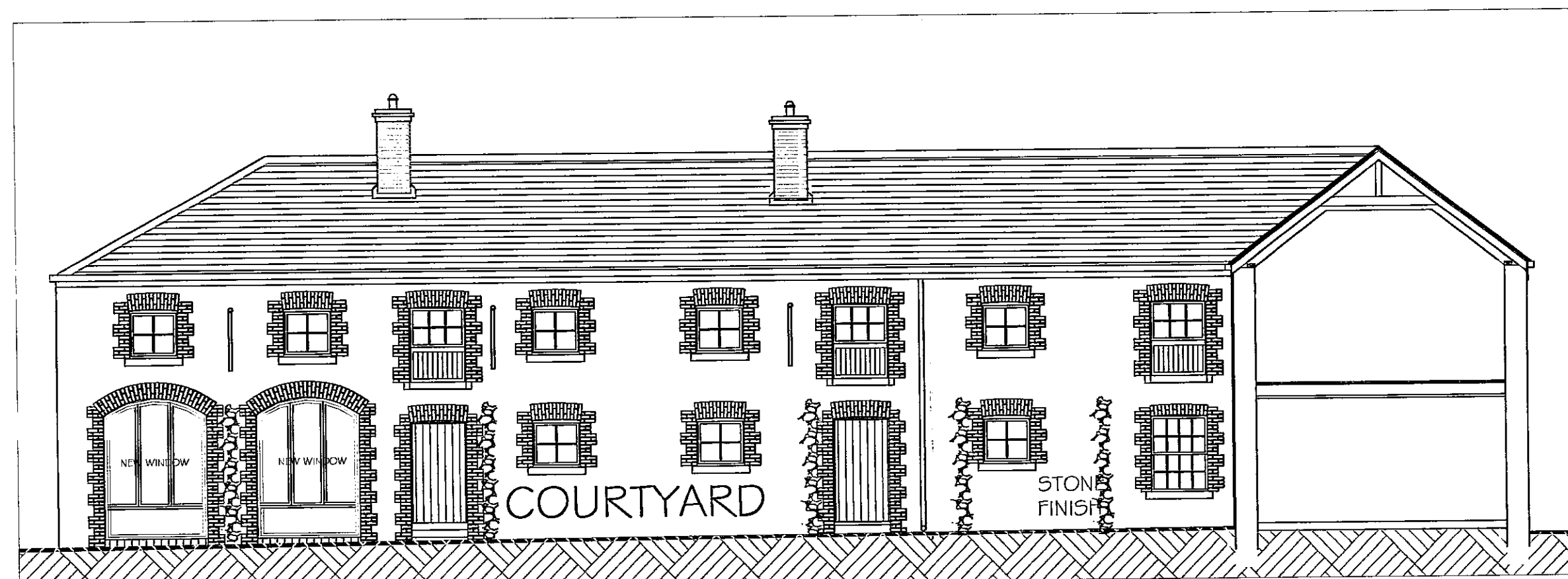
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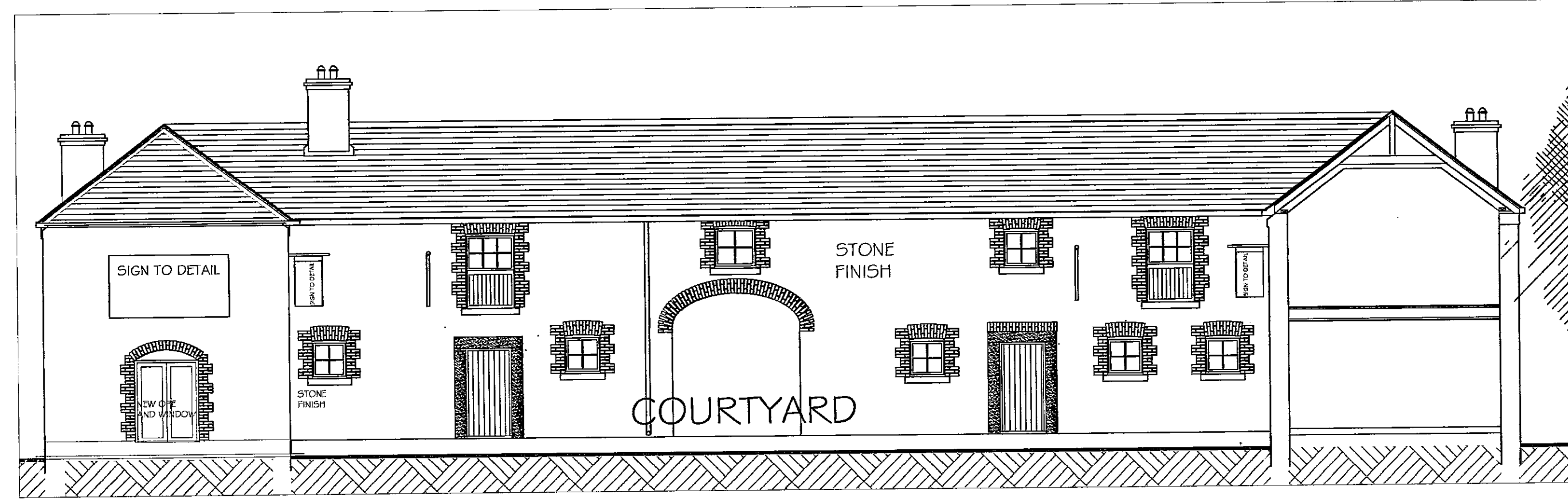
Job: MARLAY PARK COURTYARD PART 8

Drg: PROPOSED CRAFT COURTYARD
PROPOSED PLAN FIRST FLOOR

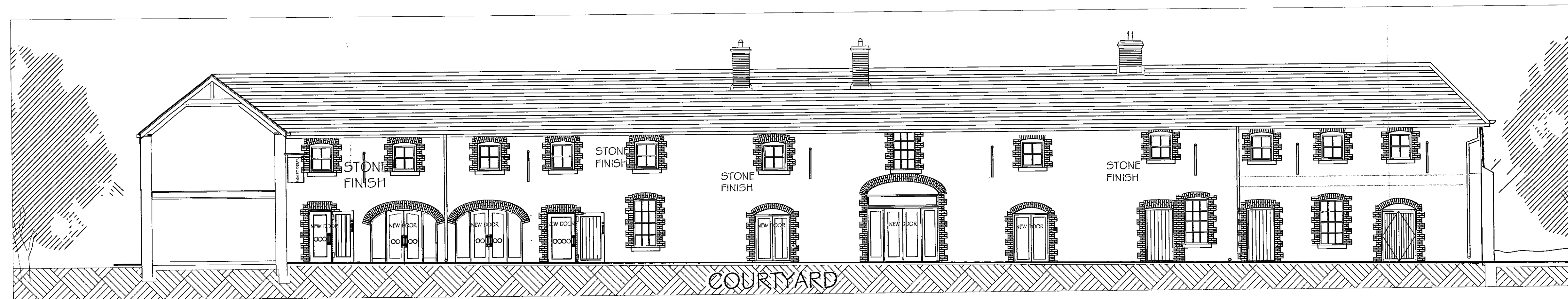
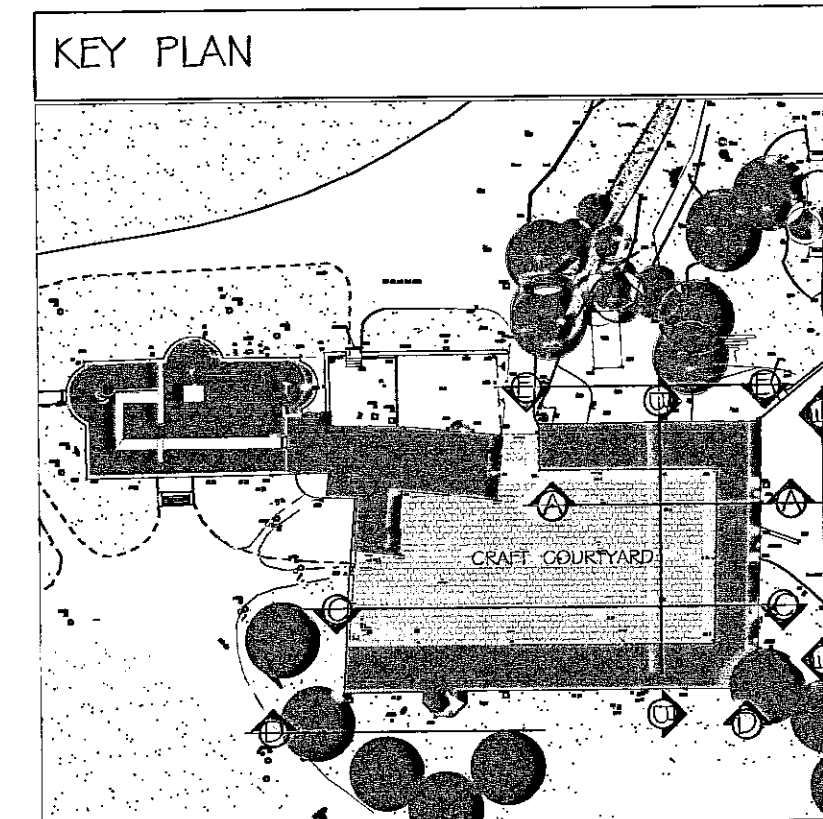
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Date - NOV 12	CAD Ref -
Job No - 000	Drawing No - 09
Chd.	Rev -
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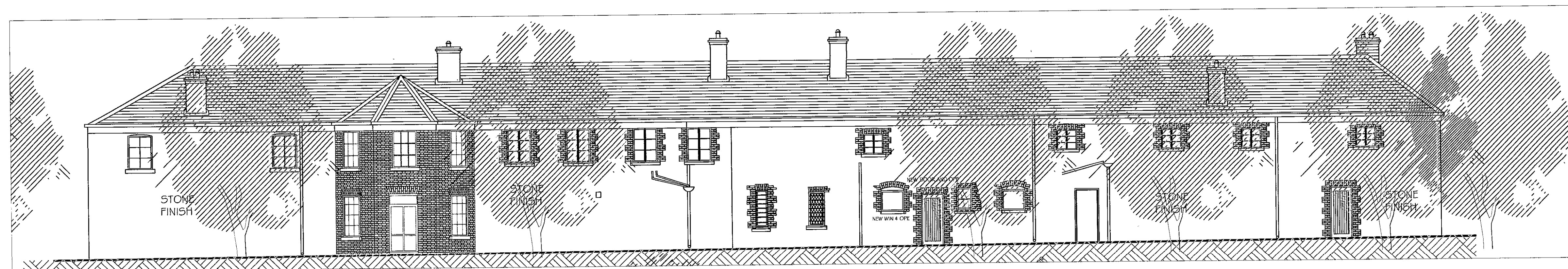
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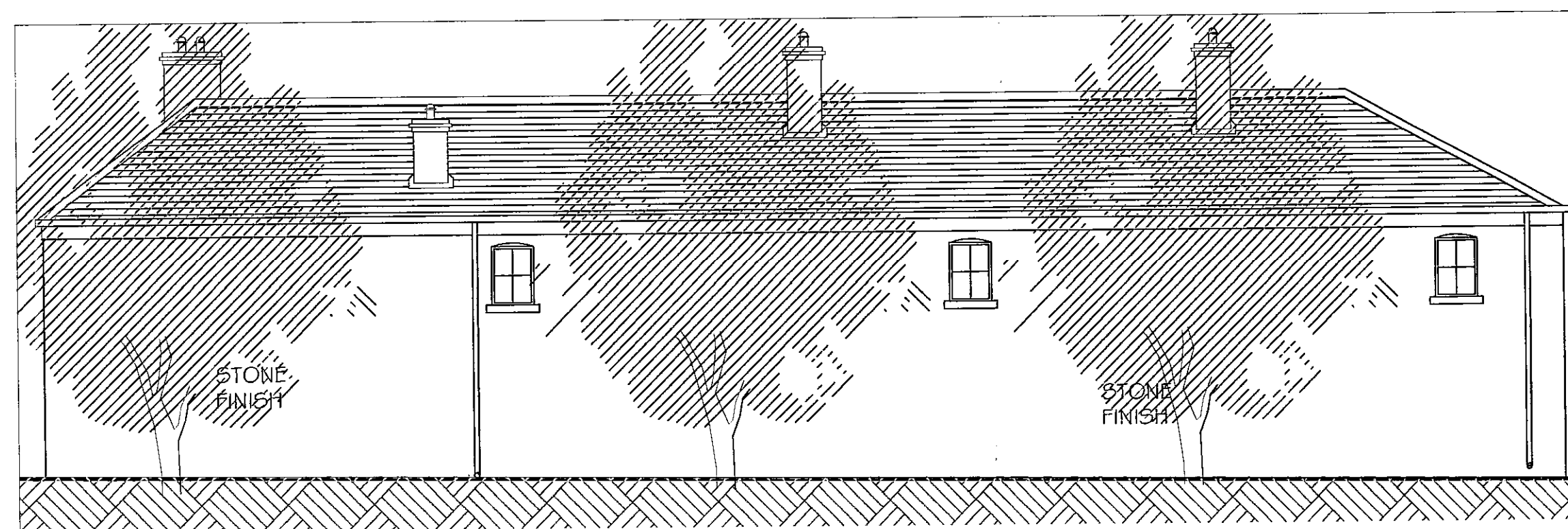
SECTION/ ELEVATION B-B



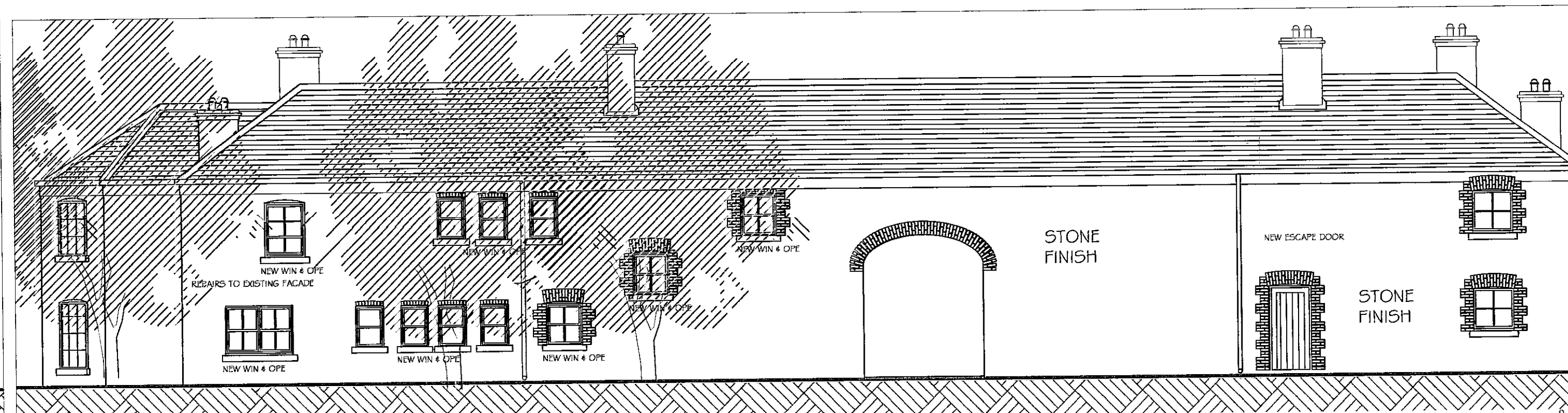
SECTION/ ELEVATION C-C



SECTION/ ELEVATION D-D



SECTION/ ELEVATION E-E



SECTION/ ELEVATION F-F

RESTORATION MARLAY CRAFT COURTYARD

Job: PART 8
PROPOSED RESTORATION
MARLAY CRAFT COURTYARD

Drg:
PROPOSED ELEVATIONS

1:100@A1/1:200@A3

Date - NOV 12

Job No - 1743

Chd.

Status - Part 8

CAD Ref -

Drawing No -

10

Rev -

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