



**CAMPFIELD TERRACE**  
**Architectural Conservation Area**

**Character Appraisal & Policy  
Framework**

**2014**

## **Preface**

"The assessment of the special character of the Campfield Terrace Architectural Conservation Area was commissioned by Dún Laoghaire-Rathdown County Council and was carried out *Rob Goodbody BA(mod), Dip Environmental Planning, DipABRC, MA, MUBC, MIPI, MRTPI, of Historic Building Consultants, Old Bawn, Old Connaught, Bray.*

The Character Appraisal, which includes an edited version of the special character report, was prepared by the Conservation Division and Planning Department of Dún Laoghaire-Rathdown County Council."

## 1.0 Introduction

Dún Laoghaire-Rathdown contains a number of areas which exhibit a distinct character and unique qualities based on their historic built form and layout. This character is often derived from the cumulative impact of an area's buildings, their setting, landscape and other locally important features developed gradually over time. These areas are an expression of our heritage and our identity and contribute significantly to the quality of our lives. These areas will continue to develop and change but their special character is of great value and worthy of protection.

The Planning and Development Act 2000, as amended, provides the legislative basis for the protection of such areas by facilitating their designation as Architectural Conservation Areas, or ACAs.

Under Part IV of this Act, an ACA is defined as a place, area, group of structures or townscape, taking account of building lines and heights, that:

- *is of special architectural, historical, archaeological, artistic, cultural, social or technical interest or value, or,*
- *contributes to the appreciation of Protected Structures.*

A wide variety of areas can be considered for designation as an ACA. For example, an ACA could be centered on an individual building, or a terrace of houses and it may be rural or urban. ACA designation forms the basis for policies to preserve or

enhance an area and provides an element of control over the external appearance of buildings, which make a positive contribution to the character of the area. Planning controls are more extensive with exempted development limited. Any works that in the opinion of the Planning Authority would have a material effect on the character of an ACA require planning permission.

Retaining the special character of an area is best achieved by managing and guiding change on a wider scale than the individual structure. Hence, the objective of the ACA designation is to guide change within an area and ensure future development is carried out in a manner sympathetic to its special character.

It should be noted that ACA designation is distinct from designation as a protected structure, although Protected Structures may be located within an ACA area. Protected Structures are subject to separate procedures and requirements under the Planning and Development Act 2000, as amended.

## 1.1 Aim of study

A number of Conservation Areas were identified in the previous Dún Laoghaire-Rathdown County Development Plan. These have now been assigned 'Candidate Architectural Conservation Areas' status under the 2010 - 2016 Dún Laoghaire-Rathdown County Development Plan. Section 11.3.13. Policy AR10: Candidate Architectural Conservation Areas states that:

*A number of Conservation Areas were identified in the previous County Development Plan. The Council is committed to assessing these areas to determine if they meet the requirements and criteria for re-designation as Architectural Conservation Areas as set out in the Planning and Development Act, 2000 and the Department of the Environment, Heritage and Local Government's "Architectural Heritage Protection Guidelines for Planning Authorities".*

The primary aim of this study is to:

- *identify the special character of the proposed Campfield Terrace ACA.*
- *to set out conservation and planning policies which protect its special character and which will guide future development,*
- *to inform owners/occupiers and developers of the type of work that would require planning permission.*

## **2.0 Location and boundary of Candidate ACA**

Campfield Terrace is a group of four houses situated on Upper Kilmacud Road between Stillorgan and Dundrum, Co. Dublin. The terrace is approximately seven hundred metres east of Dundrum village and 2.5 kilometres west of Stillorgan village.

The boundary of the candidate ACA is shown on Map 1 and Map 5 of the Dun Laoghaire-Rathdown County Development Plan 2010-2016, defined by the curtilages of the houses themselves,

with their front boundaries on to Kilmacud Road, and incorporating the side garden at the western end of the terrace. The side garden at the eastern end, at No. 4 Campfield Terrace, is not included while at the rear it approximates to the centre line of the houses.

## **2.1 Boundary of Proposed ACA**

In the light of the assessment of the candidate ACA it is found that these boundaries, in broad terms, are consistent with the findings that the principal aim of the ACA would be to conserve the character of the ACA as seen from the public realm.

However it is proposed to rationalise the boundary to make greater physical sense. The ACA boundary has been extended to include the rear gardens of the properties and the entire envelope of the houses.

### 3.0 Historical development

Campfield House was a late-18<sup>th</sup> century house to the east of Dundrum, with its access off Taney Road. The grounds of Campfield House ran back to Upper Kilmacud Road, and may have gone further prior to the laying out of that road in the later 18<sup>th</sup> or early 19<sup>th</sup> century. In the early nineteenth century the occupier of Campfield House was Samuel Boxwell, a member of a Wexford landed family.

Campfield Terrace was built early in the nineteenth century on land that was hived off from the grounds of Campfield House, and it would appear that this was done on the initiative of Samuel Boxwell. The terrace appears on John Taylor's map of *The Environs of Dublin*, published in 1816, though it appears from the style of the houses that they are unlikely to have been built much before that date.

Samuel Boxwell died in the early 1850s, following which his widow, Jane Boxwell, let the house to tenants and moved to Wellington Road, Ballsbridge. She also retained ownership of Campfield Terrace, which was also occupied by tenants, until her death in the 1860s, after which her son, also a Samuel Boxwell, inherited the properties and had them let to tenants. The property at Campfield House also extended along Taney Road as far as the junction with Goatstown Road, and took in property along the Goatstown Road frontage, so that the Boxwells were also the landlords of a number of properties in the village of Goatstown.

The first edition Ordnance Survey six-inch map, published in 1843, shows the relationship of Campfield Terrace to Campfield House. The eastern boundary of Campfield Terrace is also the eastern boundary of the Boxwell property at Campfield House, and it continues in a straight line to meet Goatstown Road to the north. Campfield House was demolished in 1985.

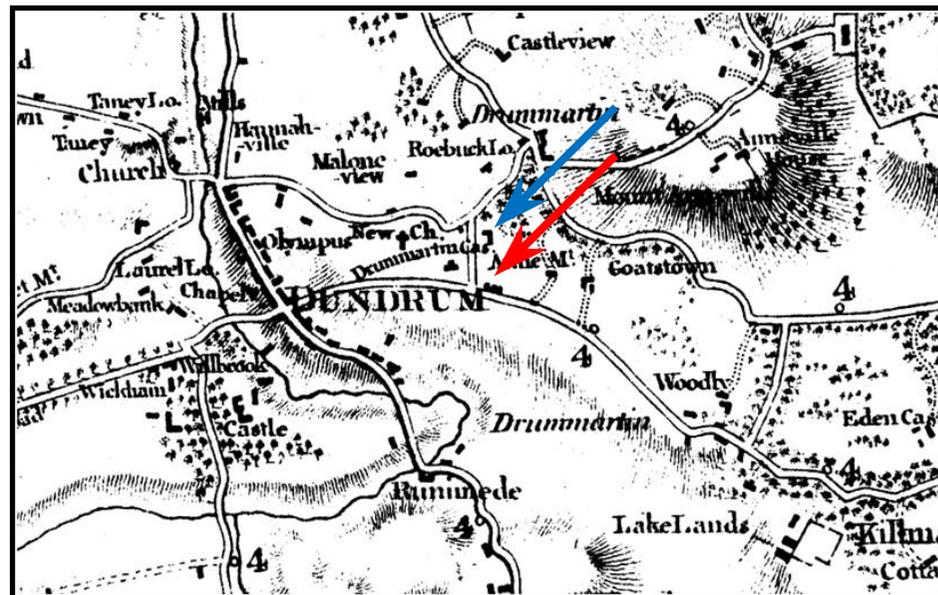


Figure 1: Detail of John Taylor's map of 1816, showing Campfield House, arrowed in blue, and Campfield Terrace, arrowed in red

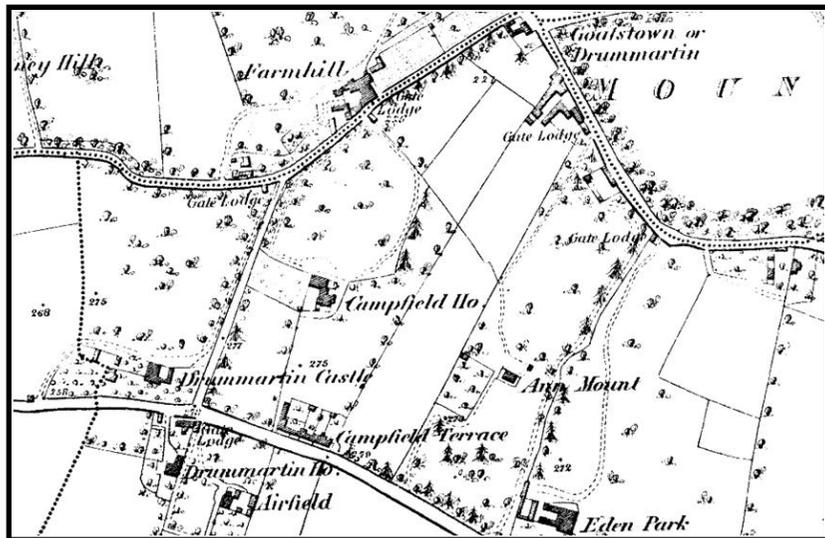
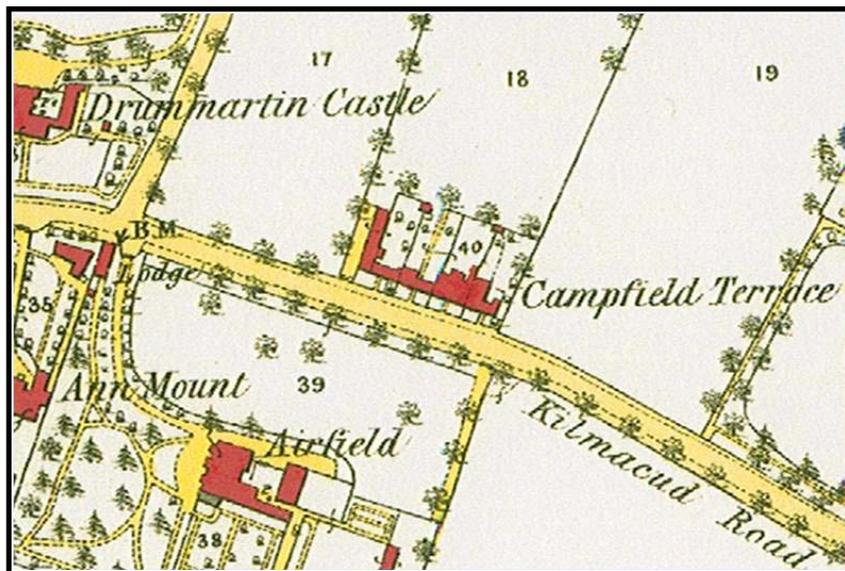


Figure 2 & 3: Detail of 1<sup>st</sup> Edition OS map 1843 showing Campfield House and Campfield Terrace above and OS map 1864 below.



From the time that they were built there was very little change in the houses at Campfield Terrace. The layout of the houses was shown clearly in the larger scale Ordnance Survey map published in 1864 at a scale of 1:2500, and reproduced below.

#### 4.0 Schedule of Protected Structures, Record Monuments and Land Use Zoning Objectives

- Record of Protected Structures

There are no protected structures within the defined boundaries of the Proposed Architectural Conservation Area. One protected structure lies in the vicinity, Airfield House which is in substantial grounds on the opposite side of Kilmacud Road.

- Record of Monuments and Places

There are no structures or sites within the Proposed Architectural Conservation Area are included in the Record of Monuments and Places. The nearest such sites are St. Naithi's Church and Dundrum Castle, both about one kilometre to the west.

## 5.0 Character appraisal

There are four houses in Campfield Terrace, on the northern side of Upper Kilmacud Road. The houses face on to a busy distributor road, with short front gardens separating the houses from the street. There are no other older properties in the immediate vicinity, or that would appear in the same vistas. The substantial historic property of Airfield is on the opposite side of the road, but is separated by a wall, trees and parkland from Upper Kilmacud Road.

### Public realm

There are no historic features remaining within the public areas in the vicinity of Campfield Terrace. The public road has been upgraded in recent years, including both the carriageway and the footways, and the concrete pavement is comparatively new. The street furniture in the vicinity consists of a timber telegraph pole, a steel lighting pole and a bus stop. There is an extensive wirescape associated with the two poles, with four cables strung between the poles and telephone and power cables running to each house from the poles.

Arising from this all features of architectural heritage significance at Campfield Terrace lie within the private spaces associated with the private houses and the Airfield property opposite.

### Private spaces

The areas to the front of the houses are small, running just 4 to 4.5 metres from the facades of the houses. The rear gardens are

more generous, ranging between twenty and twenty-five metres in depth, depending on the depth of the house itself, and giving site areas ranging from almost 400m<sup>2</sup> to about 650m<sup>2</sup>. The areas to the fronts of the houses are the only parts that are visible from the public realm apart from minor views at the sides of the end two houses.

The substantial private space associated with Airfield on the opposite side of the road contributes significantly to the character of the terrace, helping to ameliorate the negative effects of the wide and busy distributor road.

### Vistas

Campfield Terrace is situated on the outside of a gentle bend in the road and this makes it more prominent in the street scene than would otherwise be the case. This works to some extent in the view from the west, but is much more pronounced on approach from the east, where the terrace is directly in the line of sight for more than four hundred metres along a straight stretch of Kilmacud Road Upper.

The belt of trees along the frontage of Airfield obscures Campfield Terrace to a large degree when seen from the grounds of that property, and hence the vista from Airfield is not considered to be an important one.

### **Building typologies and materials**

Campfield Terrace was built as a unified terrace of houses, and has maintained a great deal of its original character as seen from the street. The four houses are more or less identical, except that the left-hand house, No. 1, has a substantial two-storey addition to the side. There have been some alterations to the detailing of the houses over time.

For the most part, No. 2 is typical of the original style of these houses and has retained much of its original external appearance to the street. It is a three-bay and two-storey centre-terrace house, with a low-pitched slate roof. Chimney stacks rise from the party walls on either side. The windows are all of similar size, and are all six-over-six timber sliding sashes with quadrant horns; it is possible that the windows in this house are replacements that are faithful to the original design.

The rear of the houses varies and for the most part this is probably due to additions to the rear rather than differences in the original design. No. 3 has a two-storey extension at the rear that is similar in size to the front section, making it effectively a double-pile house. No. 4 has a similar two-storey extension, but across only part of the rear, and both of these houses also have



*Photo 1: Campfield Terrace seen from the east*



*Photo 2: No. 2 Campfield Terrace*

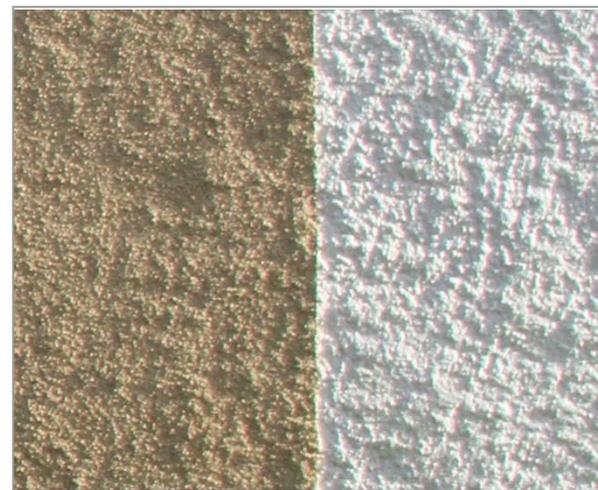
single-storey structures behind these extensions. No. 2 has a single-storey extension across the rear. No. 1 has extensive rear extensions across the entire width of the house, and projecting significantly back from the main house. In addition, there is a large, double-pile extension to the side of No. 1, and this is examined in more detail below.



*Photo 3: Campfield Terrace seen from the west.*

**Facades:** The facades of all four houses are finished in harling, a form of roughcast render popular in the eighteenth and early nineteenth century that is based on a coarse sand as the aggregate, in a mix with lime mortar. This was generally lime-washed and the prominence of the aggregate decreased over the years as the paint filled the recesses. No. 2 Campfield terrace, at left in the photograph, has only been painted in recent years and the aggregate is more prominent. At the western end of the

terrace the two-storey extension to the side of No.1 is slate hung to the front and roughcast rendered to the side.



*Photo 4: Painted harling to fronts of No's 2 and 3*

**Roofs:** The main roof that extends across the four houses in the terrace is shallow-pitched and has a covering of natural slate, with ridge tiles of traditional ceramic material, with an oblique angle. There are clips in various places along the roof, particularly over No.s 2 and 3, indicating that the roofs have been repaired as necessary. Ultimately however, a more radical approach will be needed as the clips imply that the fixings are coming to the end of their useful life. At the eastern end o

terrace the margin is marked by coping stones on the gable, securing the slates and protecting them from wind damage. This is a common treatment of gabled slated roofs in this district. At the western end the gable wall rises up above roof level and has a horizontal top, capped with granite copings. This wall is slate hung on the side away from the roof.



*Photo 5: Annex at western end*

At the western end of the terrace the roof of the two-storey annex has fibre-cement slates on the front section and natural quarry slates on the rear section. In both cases the roofs are hipped and have a steeper pitch than the main terrace, and this

would be achieved through lower ceiling heights and having sloping ceilings in the rooms on the upper floor. The ridge tiles and hip tiles on this annex are traditional ceramic types.

**Chimneys:** The chimney stacks on the party walls carry two pots per house, such that the end stacks have two pots and the intermediate stacks have four. There are chimney stacks on the gable ends of the rear return behind No.3, each having two Dublin-style clay pots.

The stacks emerge from the main roof as massive structures and reduce in plan size half way up towards the top. The facing of the stacks varies, with some formed in brick, others smooth rendered and two with slate hanging. The stacks at the western end appear to have been rebuilt at some stage in the not too distant past, and some of the pots are plain cylindrical ceramic liners, while the greater number along the terrace are the traditional Dublin type in the normal buff-coloured clay.



*Photo 6: Roof and chimneys at Campfield Terrace looking from east*

**Rainwater goods:**

Rainwater from the roof is collected along the front of the terrace by a cast iron ogee gutter supported on decorative cast iron brackets. At the eastern end there is a conical hopper and a cast iron downpipe near the corner of the terrace. At the western end the runoff is directed into the gutter to the front of the annex building and discharges via uPVC pipework to the side of the annex. There is an intermediate hopper and downpipe of uPVC near the centre of No. 4, possibly to pick up water resulting from settlement of the gutter which has created a low point.

**Windows:** The original windows on the terrace were six-over-six timber sliding sashes with small quadrant horns and these windows remain on the upper floor of No.3. There is a thick accumulation of paint on the windows, built up over the years. At ground floor level the windows have been replaced with timber casements.



No. 2 also has six-over-six timber sashes, but these do not have the paint accumulation. They may have been stripped and repainted, but the different horns, which are longer and of a slightly later style, suggest that the windows have been replaced.

The windows on No. 1 have been replaced with teak casements with six-over-six divisions. At No. 4 the windows have been replaced with inappropriate uPVC casements divided into six-over-six with applied strips.

**Front doors:** Each of the front doors in the terrace is set back behind the face of the building in a recessed panel. The doorways each have undivided segmental fanlights. Three of the doors are similar, with six panels and with the rails and stiles stop-chamfered. Stop chamfering would be an unusual feature in early nineteenth century doors, and it seems likely that the four doors along the terrace were replaced in the later nineteenth or early twentieth century.





*Photo 7: Door to No.3 and 4*

The style blends well with the houses, however, and adds significantly to the character.

The door on No. 4 has been replaced more recently, with a late twentieth century panelled door with a spokes slipped fanlight. This does not accord well with the character of the terrace, and conflicts with the fanlight above.

**Front boundary:** The entire frontage of the terrace is marked by a low wall and cast iron railing. The wall is constructed of granite rubble, with brick to form the margins at the gateway opes, and with a capping of flat granite slabs. The wall is very low and was rendered, but from the small areas of granite that are visible this appears to be built in fitted rubble. This is an unusual form of construction for a low wall, and suggests that it was not rendered in the first instance, as fitted rubble is more labour intensive, and hence more expensive than normal rubble walls. It also suggests that the wall is not original, as fitted rubble walls are not found until the middle or later nineteenth century. The brick is also of a later type, and is apparently machine made, suggesting no earlier than the late nineteenth century.



*Photo 8: Boundary treatment to No. 1 Campfield Terrace*

Rising off the plinth wall is a cast iron railing. This an extremely fine piece of work, incorporating fleur de lis, bosses, finials and pierced panels with ivy leaf motif. The newels or gate piers at the gates are integral to the railings and run to ground level, with a scroll bar at the rear to add strength. Matching the railings are the pedestrian gates to the front of each door. Until the mid-nineteenth century, and often well beyond, railings to the front of houses in the Dublin area tended to follow the Georgian style, with wrought iron cylindrical upright bars, horizontal wrought iron flat bars and cast iron detailing such as bosses, finials and newels. Cast iron railings of the type seen at Campfield Terrace were available by the mid-nineteenth century, but were not generally used in and around Dublin until later in the century.



All of the evidence suggests that the front boundary walls and railings at Campfield Terrace were added in the later nineteenth century.

Nonetheless, this is a very fine front boundary, and blends very well with the cottage style of the houses.

*Photo 9: Detail of railing*



*Photo 10: Boundary treatments to No. 4, 20<sup>th</sup> C gates at No. 2 and damaged railing (2005) since repaired.*

The walls and railings are generally in good condition, although there are some problems. The pier at the eastern end, at No. 4, is broken and slightly shifted, leading to an inward lean on the railings and the gate. It is noted that this has been damaged for some years and does not seem to have deteriorated significantly for some time. At No. 2 a section of the railing has been removed and an inappropriate mid-twentieth century pair of gates inserted. These gates appear to be little used.

A number of years ago some extensive damage occurred to the railings at the front of No. 2 Campfield Terrace, with the destruction of about two metres of the railings. Cast iron is brittle and a severe impact can cause major damage which is difficult to repair. However, this damage has now been repaired and it would be difficult to trace where this repair has been carried out.

**Additions and extensions:** Being a terrace, most of the additions to these houses have taken place at the rear. It has been noted above that there are extensions or returns at the rear of all of these properties, of differing heights and widths, and it is not known how much of this is original. It has also been noted that there is a substantial two-storey annex to the side of No. 1.

There is also a gateway to the side of No. 1, leading to the wide rear garden area, which has replaced a garage that formerly projected forward to the back of the pavement. The gates are set well back from the road and do not read with the rest of the

terrace, such that their style neither adds to nor detracts from the original character of the terrace. However, the removal of the garage at this location has helped to open up the vista of Campfield Terrace and has had a positive effect.



*Photo 11: Entrance to the side of No.1*



*Photo 12: Garage to side of No.4*

To the side of No. 4 there is a garage, built in line with the front facade of the terrace. This is rendered to the front, with a soldier course of granite stones running along the parapet.

## 6.0 Threats and opportunities

As originally built, the four houses in Campfield Terrace would have been typical of the two-storey cottages that were built in the early nineteenth century. This incorporated Georgian influences, with the symmetrical facade, six-over-six sash windows, fanlights and a shallow-pitched roof. Their frontage belied the size of the houses, as they appear to have been one room deep originally, though possibly with a small return at the rear.

The houses remained in the ownership of a single landlord through the nineteenth century, and this facilitated the unified refurbishment that seems to have happened, probably in the last decade or two of the century. This included the replacement of the front doors, probably the replacement of the gutters with the ogee profiled versions now in place, and, most significantly, it enclosed the front gardens behind the elaborate cast iron railings. The later elements have contributed significantly to the character of Campfield Terrace, building on the surviving Georgian style of the facades and roofs.

## Negative elements

Some maintenance issues arise at Campfield Terrace, and some unfortunate alterations have been made. The most major maintenance issue is the repair of the pier at the eastern end, and the straightening of the railing between the pier and the pedestrian gate to No. 4. While this does not seem to have deteriorated much it could lead to increasing stress and damage to the railing which would create severe problems for repair. Some smaller problems could lead to larger issues if not attended to and these include the clearance of vegetation from the gutters, as this could lead to overflowing and water penetration into the houses. There is also vegetation growing from the western chimney stack; this, combined with some cracking in the render suggests that severe damage to the stack could occur if the issue is not addressed. There is also cracking in the flaunching on the stack at the eastern end of No. 3, which will also need to be monitored or repaired.

The unsympathetic modifications to the terrace have included the replacement of windows in three of the houses with less appropriate alternatives. In No. 3 it is only the two ground floor windows, while the upper floor windows are original. In No. 1 the replacements are casements that approximate to the original style, but with thicker glazing bars and, more particularly, casements rather than sliding sashes. The windows in No. 4 are wholly out of character.

It is unfortunate that a substantial section of the railing was removed from the front of No. 2. This house otherwise appears

to be in good condition and is well presented. As the drive-in that was created through the removal of the railing no longer appears to be in use this is the kind of instance where reversibility would have been a valid approach, with the railings retained carefully so that they could be reinstated once the gates were no longer used.

The two-storey annex at the western end of the terrace is an early intervention, and is out of keeping with the style of the terrace, and, in particular, the delicacy of the character that arises from the painted roughcast render, the low-pitched roof, the neat sash windows, doors and railings. By contrast the slate-hung annex with the more steeply pitched roof gives a more rugged appearance that detracts from the terrace. It is, however, part of the well-established fabric of the terrace, and has gained a status as part of its inherent character.

The amount of planting to the front of No. 1 conceals the house and detracts from its appearance and the overall appearance of the terrace.

The wirescape to the front of the terrace detracts from the visual appearance and character. The combination of two poles with four wires running between them and overhead wires leading from the poles to the houses is untidy and cluttered and, above all, out of character with the terrace.

### **Positive elements**

With the exceptions outlined above, this terrace has remained largely intact and without many serious adverse alterations. The modifications in the later nineteenth century have added to the character, most particularly through the provision of the plinth wall and cast iron railings, with their matching pedestrian gates.

Alterations such as the fitting of inappropriate windows is to a large extent reversible, and it would be possible to reinstate windows that would be more in keeping with the character of the terrace. Campfield Terrace is fortunate that few changes have taken place that would be more intrusive and less reversible.

The vista looking westward along Upper Kilmacud Road towards Campfield Terrace is of particular interest, and adds greatly to the appreciation of the terrace as one of the few prominently-visible early groups of buildings in the vicinity.

The presence of Airfield on the opposite side of the road, with its trees and its open area, adds greatly to the sense of enclosure and offers a remnant of the more rural environment in which these houses existed until the latter part of the twentieth century.

## 7.0 Assessment of special interest

The planning act define eight categories of special interest under which a building or other structure may be added to the Record of Protected Structures. These are architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest or value. Section 81(1) of the Planning and Development Act 2000 provides for the declaration of a planning authority of an architectural conservation area where there are buildings that are of special interest under any of these eight categories, or where the conservation of the area would contribute to the appreciation of protected structures. As there are no protected structures within the immediate vicinity of the four houses in Campfield Terrace, the designation of the area as an architectural conservation area would only be appropriate if the buildings or other structures in the area are of interest under one or more of those eight categories.

Under a strict definition of each of these categories, only one category would apply to Campfield Terrace, that being of architectural interest.

### Architectural interest

Campfield Terrace is considered to be of special architectural interest through the original style and design of the terrace, the high degree of survival of this original character, and the positive contribution that was made during the later nineteenth century

modifications to the terrace, particularly the front boundary wall and railings.

Houses such as these were probably built for the local artisans, being larger than labourers' cottages and of more enduring materials. At the beginning of the twentieth century the houses were occupied by builders, teachers, clerks and a musician, though when built a century before that they may have housed workers from the local properties of the gentry. They are a rare survival of this kind of housing from the early nineteenth century and this also contributes to their interest as representatives of a certain architectural form.

## 8.0 Development Control within Campfield Terrace ACA

The objective of the ACA is to protect the special character of an area through the careful control and positive management of change of the built environment. Section 82(1) of the Planning and Development Act 2000 (as amended) indicates that;

*"Notwithstanding paragraph (a), (h), (i), (ia), (j), (k), or (l) of section 4(1), or any regulations made under Section 4(2) the carrying out of works to the exterior of a structure located in an Architectural Conservation Area shall be exempted development only if those works would not materially affect the character of the area"*

For the purpose of the Campfield Terrace ACA development prescribed under 4(1)(h) of the Planning and Development Act 2000 (as amended) and Classes 1, 4, 5, 7, 9 and 11 of Schedule

2 (Part 1) of the Planning and Development Regulations 2001 (as amended) are considered to potentially materially affect the character of the ACA.

**Where a question arises as to what works is, or is not exempted development, any person may, under Section 5(1) of the Planning and Development Act 2000 (as amended), on payment of the prescribed fee, request in writing from the Planning Authority, a declaration of that question.**

Owners, occupiers or developers proposing to carry out works within the ACA should be aware that the normal exemptions from seeking planning permission, will no longer apply where the Planning Authority considers that the works will materially affect the character of the Architectural Conservation Area. Therefore, in its assessment of whether or not works constitute exempted development, the Planning Authority must have regard to not only the impact on the character of the structure itself and adjacent structures, as required under Section 4(1)(h) and Schedule 2 of the Planning and Development Regulations 2001 (as amended), but must now also have regard to the impact on the overall character of the area, as required under Section 82(1) and (2) of the Planning and Development Act 2000, as amended.

The designation of ACA status therefore results in restrictions on certain works to the exteriors of structures, their settings and plot boundaries. For example, the construction of a small house extension or a boundary wall within an ACA will require planning

permission, whereas such works may be exempted development elsewhere.

The purpose of Section 8.1 of this ACA document is to give detailed direction and guidance on the type of works that do, and do not impact on the character of the ACA and therefore will, or will not require planning permission. The following is not a definitive list of all works, in all circumstances, that require planning permission, but identifies those works, which would impact on the character of the ACA. It should also be noted that some of the following works already constitute development regardless of ACA designation and would require planning permission.

### **8.1 Development that may materially affect the character of the Campfield Terrace ACA.**

The following exempted development classes will not apply to Campfield Terrace ACA as they are considered to potentially materially impact on the character of the area.

Planning and Development regulations 2001 (as amended) Schedule 2, Part 1- Exempted Development – General, including the following classes:

CLASS 1, 4, 5, 6, 7, 9, 11.

- Extensions (Class 1) – It is Council policy to ensure that planning permission is required for domestic extensions within ACA.

- Dish type antenna (Class 4) – It is Council policy to ensure that planning permission is required for dish type antenna within the ACA.
- Boundary treatment (Class 5) – It is Council policy that planning permission is required for alterations to boundary treatments to residential plot boundaries, including entrance gates and pillars and associated signage, on public and private roads within the ACA.
- Landscaping works (including hard surface areas), to domestic plots (Class 6) - It is Council Policy to ensure that planning permission is required for such works.
- Domestic porches (Class 7) - It is Council policy that planning permission be required for the addition of porches outside any external door of a dwelling house (also including canopies and awnings).
- Alterations to or erection of a gate or gateway (Class 9) – It is Council Policy to ensure that planning permission is required for dish type entrance within the ACA.
- Alteration to or construction of boundary and wall or fence (Class 11) – It is Council Policy to ensure that planning permission is required for alteration or construction of boundary wall or fence.

In addition the following works are considered to potentially impact on the character of the ACA and therefore are not exempt.

**Roofs:**

- The removal, or partial removal, of original roofing materials such as quarry slates and ceramic ridge and hip tiles, and their replacement with modern materials such as fibre cement slates or tiles
- The removal of granite coping stones from the margins of the roof
- The removal or replacement of existing chimney stacks and original terracotta or clay chimney pots
- The rendering of brick chimney stacks
- The removal of slate hanging from chimney stacks
- The installation of solar panels or roof lights visible to the front
- The removal of original rainwater goods such as gutters, hoppers, brackets and downpipes and their replacement with modern materials such as uPVC to the front elevation
- The replacement of the existing ogee-profiled cast iron gutters with different profiles.

**External walls:**

- The removal or replacement of external roughcast render

- Removal or replacement of slate hanging from the annex at the western end of the terrace
- The erection of communications antennae, dishes or support structures for such equipment in such a way as to be visible from the street, whether on the external walls, chimney stacks, roofs or elsewhere.
- Works to the front elevation that would render the building inconsistent with the rest of the terrace, such as the application of external insulation and painting the façade in a colour that detracts from the uniformity of the terrace.

**Openings:**

- The removal, alteration or enlargement of original window openings in the front elevation and the replacement of timber sash windows with alternative materials and inappropriate styles such as casement windows
- The replacement of original glass in the windows and the replacement of any glass, whether or not original, with reinforced or textured glass in the front elevation
- Replacement of the front door in an inappropriate style, material or method of opening or the removal or replacement of any of the elements of the front door assemblage, including fanlight.

**Porches:**

- The construction of a porch to the front of any of the houses.

**Boundary treatment:**

- Alteration to the height of the front walls
- Alteration or removal of railings or the pedestrian gates on the front boundary.
- The provision of a new opening or widening of an existing opening in the front boundary
- Repointing of the front walls using a cement-based mortar
- Rendering of the front walls.

**Extensions:**

- The construction of any extension to the buildings that would be visible from the front of the property, or from the street.

### **8.1 Works not materially affecting the character of the Campfield Terrace ACA**

#### **Maintenance and repairs:**

- All original or early features and materials should be retained and repaired where possible, as these contribute to the character of the ACA in a positive way. Where replacement is necessary they should be carried out using similar materials and styles to those being replaced, unless they are replacing later inappropriate works.
- Repointing of brickwork or stonework on chimney stacks or front boundary walls, providing it is carried out using a suitable lime-based mortar that is softer and more porous than the masonry.

#### **Internal alterations:**

- Internal alterations to the houses in Campfield Terrace would not require planning permission providing they do not impact on the external character of the building.

#### **Restoration of character:**

- Where original materials have been lost or have been replaced with inappropriate alternatives the reinstatement of these features would not be considered to have an adverse effect on the character of the ACA except where

the removal would cause damage to the fabric, such as the removal of a cement-based mortar from brickwork. Should the reinstatement of timber sash windows be considered in place of uPVC or timber casements the sashes should be six-over-six with small quadrant horns similar to those on the upper floor windows in No. 3 Campfield Terrace, and should have slender timber glazing bars.

- The removal of the uPVC hopper and downpipe from the front elevation and adjustment of the original gutters to eliminate leakage and reinstate proper falls would not require planning permission.

#### **Extensions:**

- Extensions to the rear of the properties that are not visible from Upper Kilmacud Road.
- Works in the grounds to the rear of the houses, including boundary treatment, landscaping and garden sheds and greenhouses.

#### **Services:**

- The positioning or replacement of external services should respect the character of the houses and the ACA, placing all cables or boxes in such a way as to cause minimal disruption to the visual qualities of the ACA. Running

cables alongside rainwater goods, or along eaves should be achieved where possible.

- Removal of existing or redundant services from the faces of the buildings is to be encouraged.

*NOTE: The guidance given above is not in itself a comprehensive list of all works, in all circumstances, that require planning permission, but identifies those works that would impact on the character of the ACA. Development must adhere to the general provisions of the Planning and Development Act 2000 (as amended), and the policies and objectives within the Dún Laoghaire-Rathdown County Development Plan. The Area Planner and Conservation Officer of Dún Laoghaire-Rathdown County Council can be consulted if there is any doubt as to whether planning permission is required or not.*

**Appendix 1:**

Proposed Architectural Conservation Area Boundary

(Drawing No. PL-13-364)